



*City of Charleston*

# BOARD OF ZONING APPEALS-ZONING

**August 17, 2021**

**5:15 PM**

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DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

[www.charleston-sc.gov/bza-z](http://www.charleston-sc.gov/bza-z)

**\*\*Video and microphone is currently disabled for all attendees.\*\***

**This meeting is being recorded.**

Go to [www.charleston-sc.gov/bza-z](http://www.charleston-sc.gov/bza-z) for instructions to join. Call (843) 724-3770 if you are experiencing technical difficulties.

# Zoom Meeting Protocol

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## **Order on Each Application:**

- Chair announces each application followed by staff presentation and recommendation
- Staff presents application and City's recommendation. Staff will control slide presentation
- Staff announces comments received and whether anyone has signed up to speak
- Applicant, after being sworn in, will be allowed to present their application if opposition or questions are raised, followed by public comments from pre-registered attendees in favor. Each speaker will be sworn in before speaking
- Staff then recognizes registered attendees for public comments in opposition. Each speaker will be sworn in
- Staff then recognizes the applicant for a short rebuttal before Chair closes public comments and begins Board discussion

## **Providing Comment:**

- People who sign up to speak prior to the 12 noon deadline will be called on when it is your turn to speak and your microphone will be enabled. You may only speak once on each item.
- Your microphone will be disabled after you are finished speaking.

# Board of Zoning Appeals-Zoning

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## **Your Board of Zoning Appeals-Zoning Members are:**

Michael Robinson - Chair	Howell Morrison
John Bennett	Robben Richards
Allison Cannon Grass	Geiza Vargas-Vargas
Walter Jaudon	

## **Your City of Charleston Staff are:**

Lee Batchelder, <i>Zoning Administrator</i>	Pennye Ashby, <i>Senior Planner</i>
Scott Valentine, <i>TRC Coordinator</i>	Vanessa Ellington, <i>Clerk</i>

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The Board of Zoning Appeals—Zoning has the authority to do three things:

1. Hear appeals to decisions of the Zoning Administrator;
2. Grant special exceptions, a fact finding function of the Board; and
3. Grant variances to the Zoning Ordinance if the application meets the hardship test outlined in Section 54-924 of the ordinance.

# Board of Zoning Appeals-Zoning

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## Requirements for Granting a Variance

A variance may be granted by the Board of Zoning Appeals in an individual case of unnecessary hardship if the Board makes the following findings:

- a. there are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b. these conditions do not generally apply to other property in the vicinity;
- c. because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
- d. the authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

# Agenda Item #A-1

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Approval of August 3, 2021 BZA-Z Minutes

(click on link below)

<https://www.charleston-sc.gov/AgendaCenter/ViewFile/Agenda/08032021-6740>

# Agenda Item #B-1

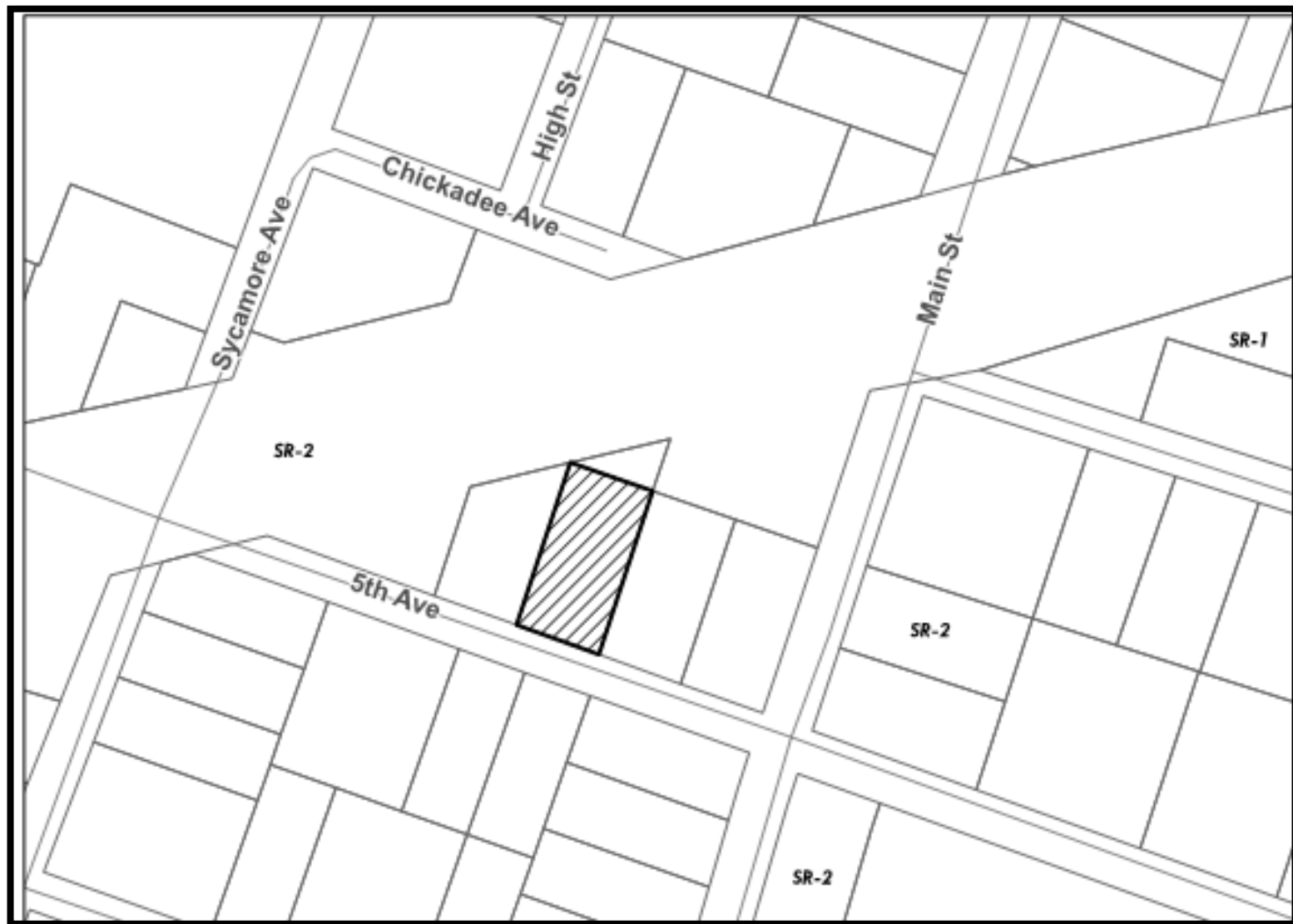
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826 5<sup>TH</sup> AVENUE  
(MARYVILLE/ASHLEYVILLE)  
TMS # 418-11-00-154

Request special exception under Sec. 54-501 to allow construction of a single-family residence on a lot of insufficient size (Lot area 5,003sf; 6,000sf required).

Request variance from Sec. 54-301 to allow construction of a single-family residence with an 8-ft. east side setback, an 8-ft. west side setback, a 16-ft. total side setback (9-ft. and 18-ft. required).

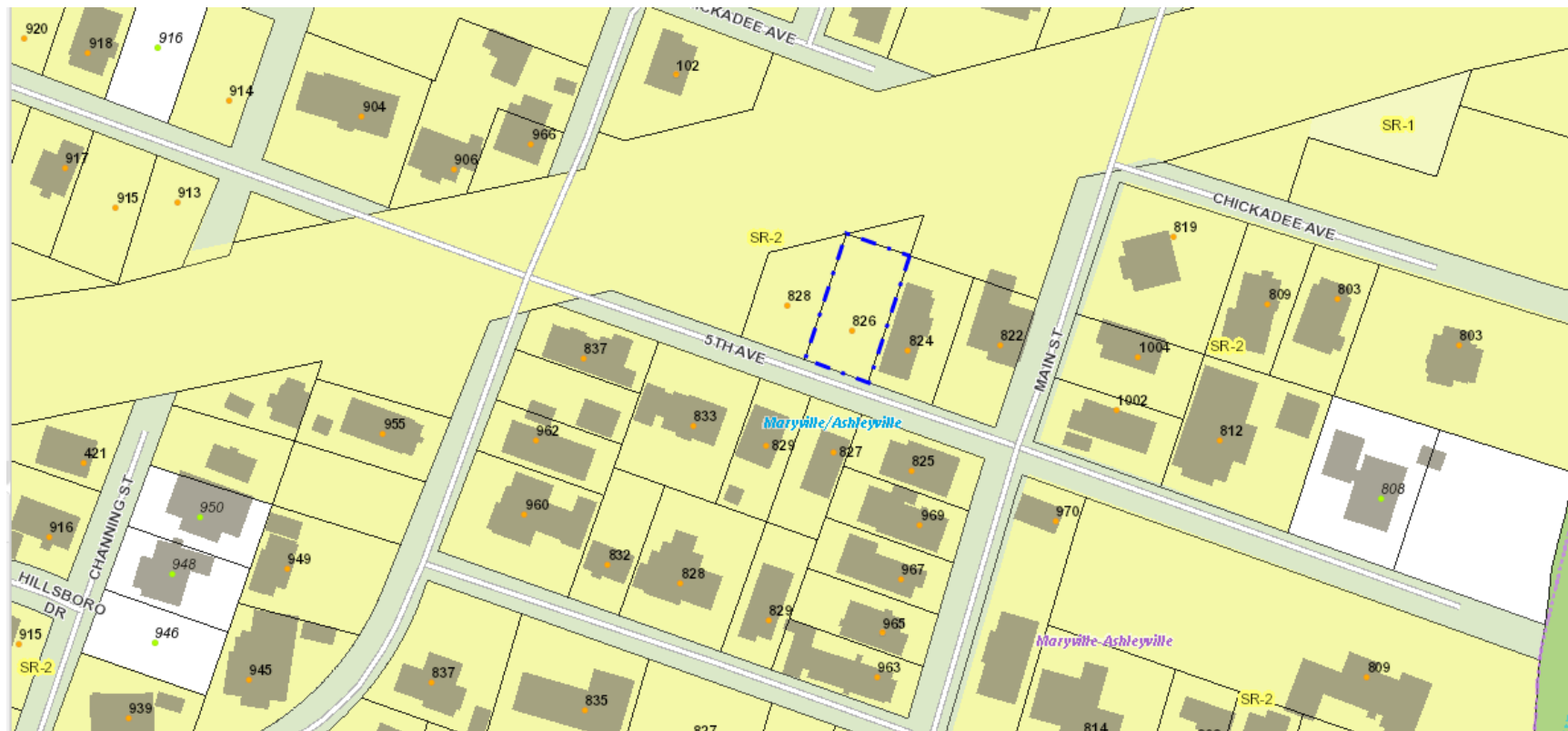
Zoned SR-2

















City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: August 17, 2021  
Property Address 826 5th Ave TMS # 418-11-00-154  
Property Owner Shawn Laurson Daytime Phone 8439019006  
Applicant Shawn Laurson Daytime Phone \_\_\_\_\_  
Applicant's Mailing Address 871 Tripe St Chas. SC 29407  
E-mail Address Shawnlaurson@gmail.com  
Relationship of applicant to owner (same, representative, prospective buyer, other) Owner  
Zoning of property SR2

**Information required with application: (check information submitted)**

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☐ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant [Signature] Date 7/14/21

For office use only:		Time application received _____	
Date application received _____	Fee \$ _____	Receipt # _____	
Staffperson _____			

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

We are asking for a variance to build our small 1300sf home on our 5000 sf lot. This lot like all of the lots in Maryville does not meet the current 6000 sf minimum requirement. Before we bought the lot I confirmed with zoning that it was a buildable lot.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

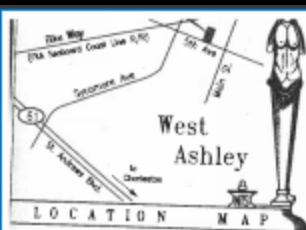
1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

Lot of insufficient size per Section 54-301. Requesting a special exception for a set back of 8' on each side. The house will only cover 26% of the lot.

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



# PLAT

of Lot 148, Maryville Subdivision, TMS# 418-11-00-154, an Existing 0.12 Acre Lot, Property of Triton LLC, located in the City of Charleston, Charleston County, South Carolina. Surveyed at the Request of Shawn Larson May 2021

N/Y CITY OF CHARLESTON  
TMS# 418-00-00-006  
Old SC Hwy Dept. R/W

**GENERAL NOTES**

- THIS PLAT SHOWS ONLY EASEMENTS WHICH ARE DEMONSTRATED OR APPARENT TO THE SURVEYOR.
- U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLAND DETERMINATIONS HAVE NOT BEEN MADE FOR THIS SURVEY.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "X", AS SHOWN ON FLOOD INSURANCE RATE MAP #4501900311X, EFFECTIVE DATE: 1/29/2021, LOCATED IN COMMUNITY #455412.

N/Y BACKMON TIN  
TMS# 418-11-00-155  
(Lot 147)

N/Y TRITON LLC  
TMS# 418-11-00-154  
Plat H-53, Lot 148  
0.00 Acre

Proposed  
1260sf  
Single  
Family  
House

N/Y GOSPEL MISSION  
APOSTOLIC CHURCH INC  
TMS# 418-11-00-150  
(Part of Lot 134)

N/Y CITY OF CHARLESTON  
TMS# 418-00-00-006  
Old SC Hwy

N/Y F AND E  
INCORPORATED  
TMS# 418-11-00-153  
(Lot 149)

**LINE AND SYMBOL LEGEND**

- CORNER FOUND
- PROPERTY LINE
- RIGHT OF WAY LINE
- ADJACENT PROPERTY LINE
- FENCE LINE

5th Avenue  
824

BE STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, THAT THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ANNUAL STANDARDS MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS ALL THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED IN THE AREA WAS DETERMINED BY THE COORDINATE METHOD OF ESTIMATION, THE PRECISION OF THE UNADJUSTED FIELD WAS GREATER THAN 1:10,000.



REFERENCE DOCUMENTS







# **FOUNDATION LEGEND**

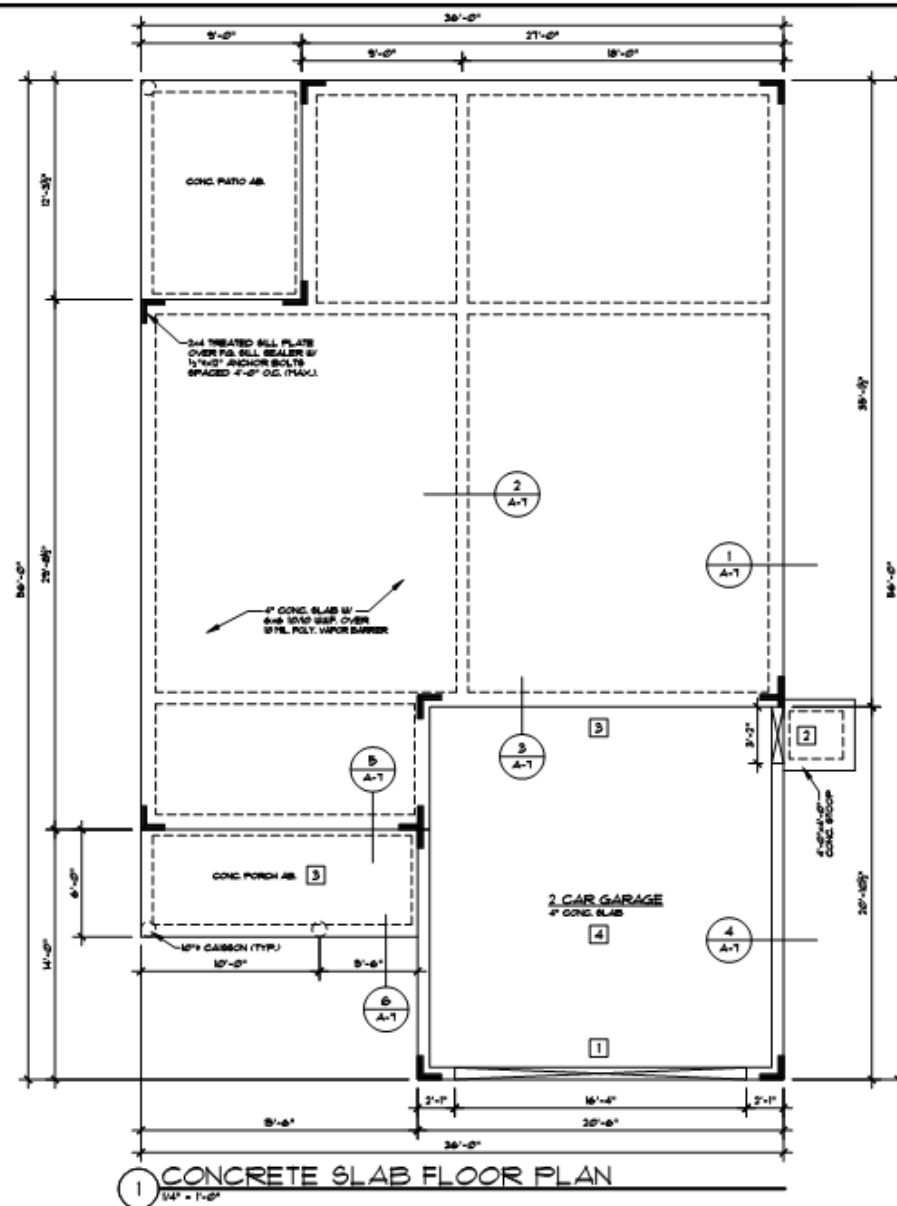
1. Provide 14" deep blockout for 4" concrete slab and overhead garage door.
2. Provide 8" deep blockout for 4" concrete slab and garage service door.
3. Start top of 4" concrete garage slab 2" below top of floor slab 4" and slope 4" down to front foundation wall over blockout (2" min. required by code).
4. Provide 1/2" type "C" 1-hour fire rated drywall 8' garage walls, ceilings and structural members adjacent to living areas. (drywall to extend to the underside of the highest roof sheathing or be related to stone ceiling.)

Do not scale drawings, use dimensions as specified on drawings.

NOTE: Foundation design shown on these drawings are conceptual only. Actual foundation design by others. Foundation design to be based upon site soil conditions and building code requirements.

NOTE: CONG. TO ACHIEVE 3000 PSI COMP. STRENGTH MINIMUM IN 28 DAYS.

NOTE: REINALL RECESSED NAIL TO CONG. SLAB AS REQUIRED BY BDC 308 CLIMATE ZONE.



**1 CONCRETE SLAB FLOOR PLAN**  
1/4" = 1'-0"

model no.

copyright 2007

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**Marshall Architecture P.C.**  
6098 South Lakeview Street  
Littleton, Colorado 80120  
www.marshallarchitecture.com  
Email: info@marshallarchitecture.com  
Fax: (303) 769-4388



drawn by:

M.A.M.

checked by:

J.B.M.

date:

11-16-07

revised:

sheet index:  
CONC. SLAB  
FLOOR PLAN

sheet no.

A6 of 11



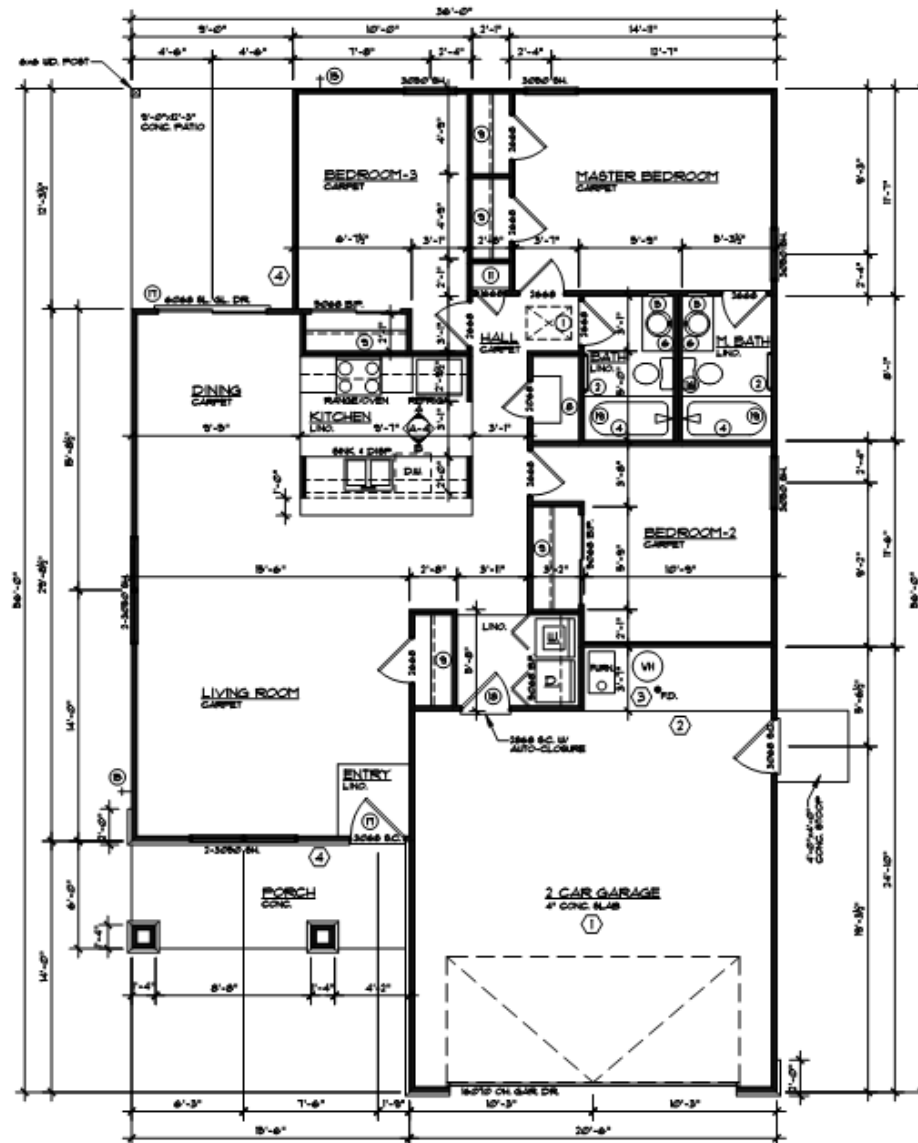
# ARCHITECTURAL LEGEND

1. Provide 22"x30" auto access.
2. 24" level bar.
3. Toilet ring.
4. Soap and grab bar.
5. Recessed medicine cabinet.
6. Mirror.
7. 36"x36" shower receptor w/ tapered glass enclosure.
8. Pantry closet, 5 shelves.
9. One shelf and one rod.
10. One shelf and two rods 42" high and 42" between.
11. Linen closet - 5 shelves.
12. 34" high (min) 38" high (max) 1 1/2" x handrail.
13. 34" high (min) 38" high (max) 1/2" x 1/2" type material w/ 30 between 4" w/ c/c.
14. Heatilator HD-4350 36" gas fireplace.
15. Hose bibb.
16. Job stud wall.
17. Maximum vertical height measured from top of threshold of door to landing not to exceed 7'1". Maximum threshold height at door to interior landing not to exceed 1".
18. Door between house and garage to be R4 minimum. Changes in elevation at doors due to landings or termination of stairs, to be measured from top of door threshold.
19. Provide water-resistant type gyp. bd. # both walls at tub & shower locations.

## GENERAL NOTES

1. Provide 1/2" Type 'X' 1-hour fire rated drywall & garage walls, ceilings and structural members adjacent to living areas as per section 5093 of the IRC. (drywall to extend to the underside of the highest roof sheathing or be installed to entire ceiling.)
2. Start top of 4" concrete garage slab 2" below top of garage foundation wall & rear and slope 4" down to front foundation wall over blockout (2" min. req. by code).
3. Provide 1' minimum clearance around furnace flue.
4. Install an impervious membrane between all concrete patios/porches and wood frame as per code.

NOTE: FOR BEAM SIZES AND FOUNDATION NOTES, REFER TO STRUCTURAL SHEETS.



1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0" Sq. Ft. = 1350

model no.

H-2066-S

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Marshall Architecture

Marshall Architecture P.C.  
6098 South Lakewood Street  
Littleton, Colorado 80120  
www.marshallarchitecture.com  
Email: jmarshall@marshallarchitecture.com



drawn by:

M.A.M.

checked by:

J.B.M.

date:

11-16-07

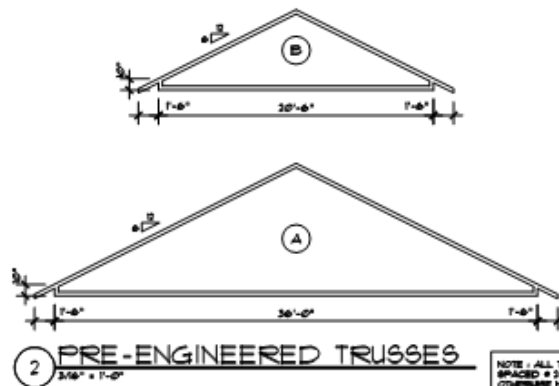
revised:

sheet index:

FLOOR PLAN

sheet no.

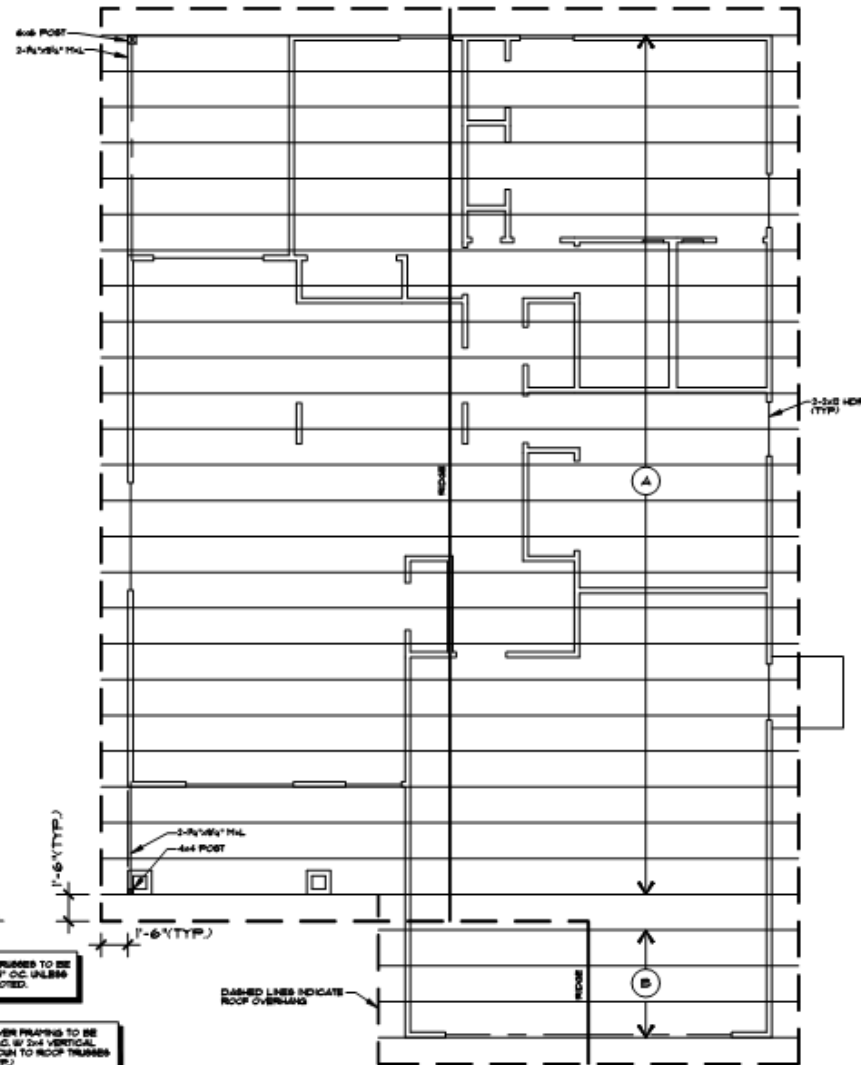
A3 of 11



NOTE: ALL TRUSSES TO BE SPACED @ 24" O.C. UNLESS OTHERWISE NOTED.

NOTE: ALL OVER TRUSSING TO BE 3/8" x 24" O.C. @ 24" VERTICAL SUPPORTS DOWN TO ROOF TRUSSES @ 24" O.C. (TYP.)

**1 ROOF FRAMING FLOOR PLAN**  
1/4" = 1'-0"



model no.

H-2066-S

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File: 1002 704-1008



drawn by:  
M.A.M.

checked by:  
J.B.M.

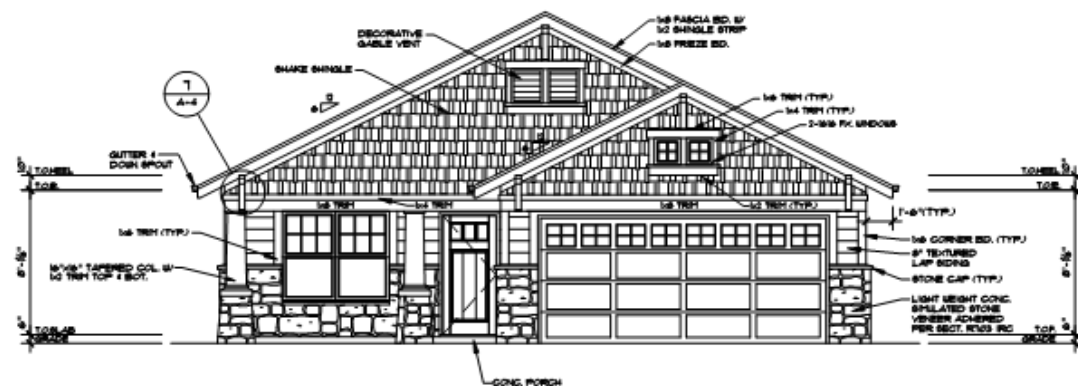
date:  
11-16-07

revised:

sheet index:  
FRAMING PLANS

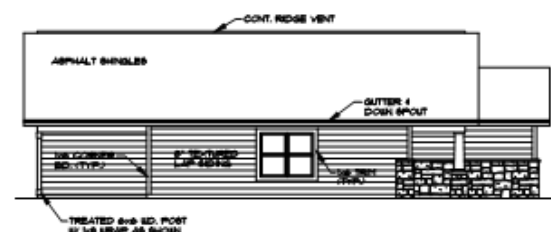
sheet no.

A10 of 11

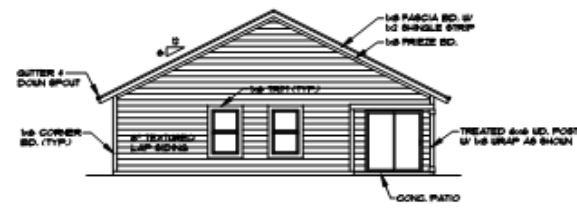


1 FRONT ELEVATION  
14'0" x 1'-0"

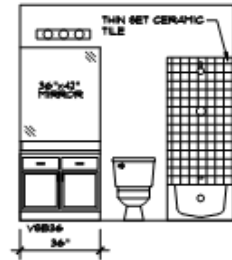
1 BRACKET DETAIL  
3'-0" x 1'-0"



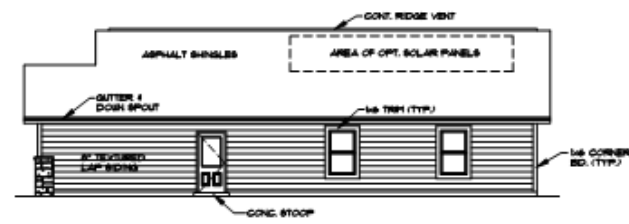
2 LEFT SIDE ELEVATION  
18'0" x 1'-0"



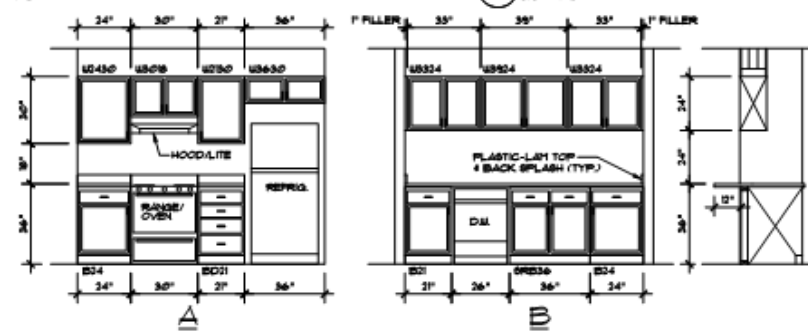
3 REAR ELEVATION  
18'0" x 1'-0"



6 TYP. BATH ELEV.  
3'-0" x 1'-0"



4 RIGHT SIDE ELEVATION  
18'0" x 1'-0"



5 KITCHEN ELEVATIONS  
3'-0" x 1'-0"

H-2066-S

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www.marshallarchitecture.com  
Fax: (303) 781-0344



drawn by:  
M.A.M.

checked by:  
J.B.M.

date:  
11-16-07

revised:

sheet index:  
ELEVATIONS

sheet no.  
A4 of 11

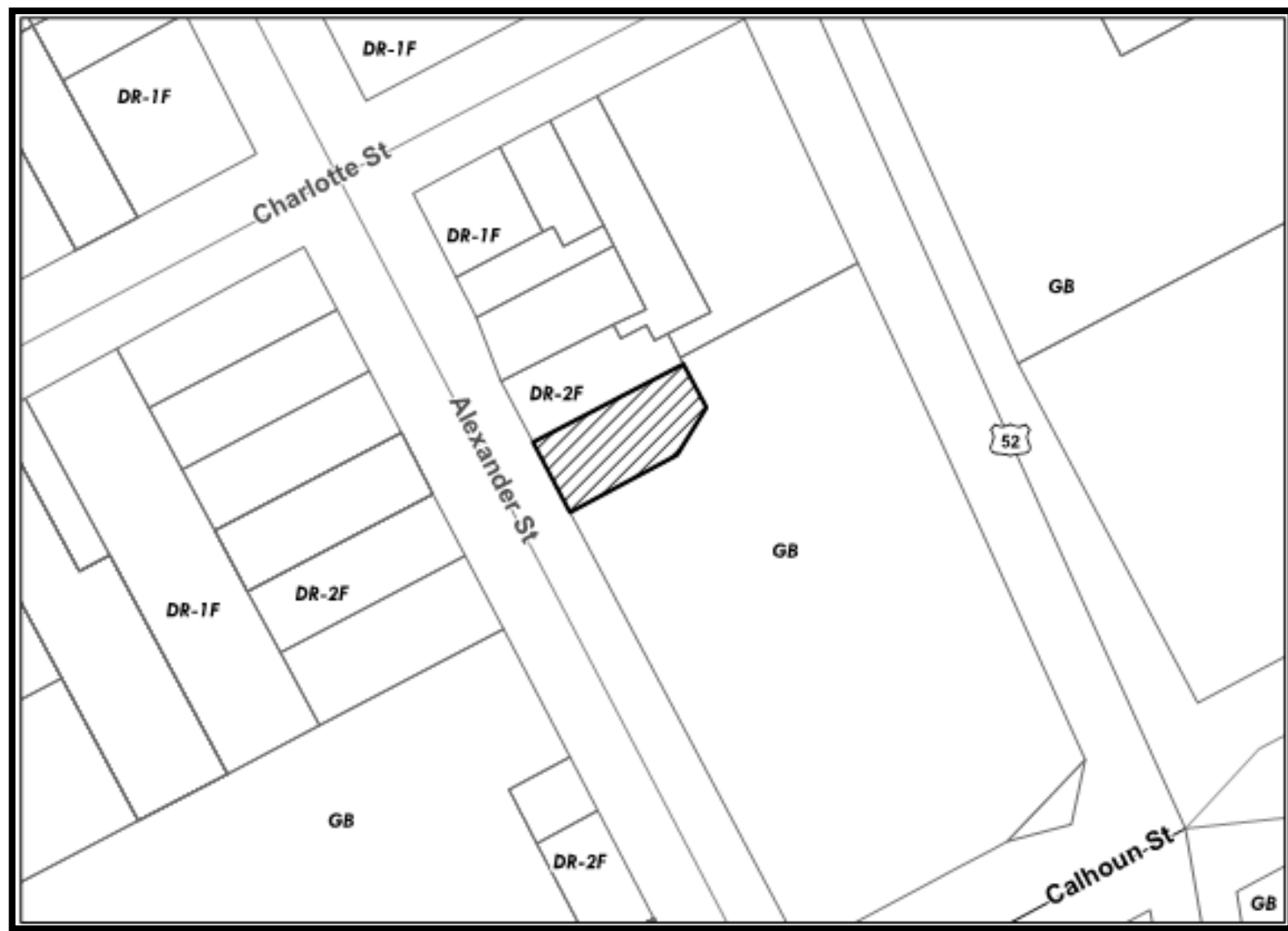
## Agenda Item #B-2

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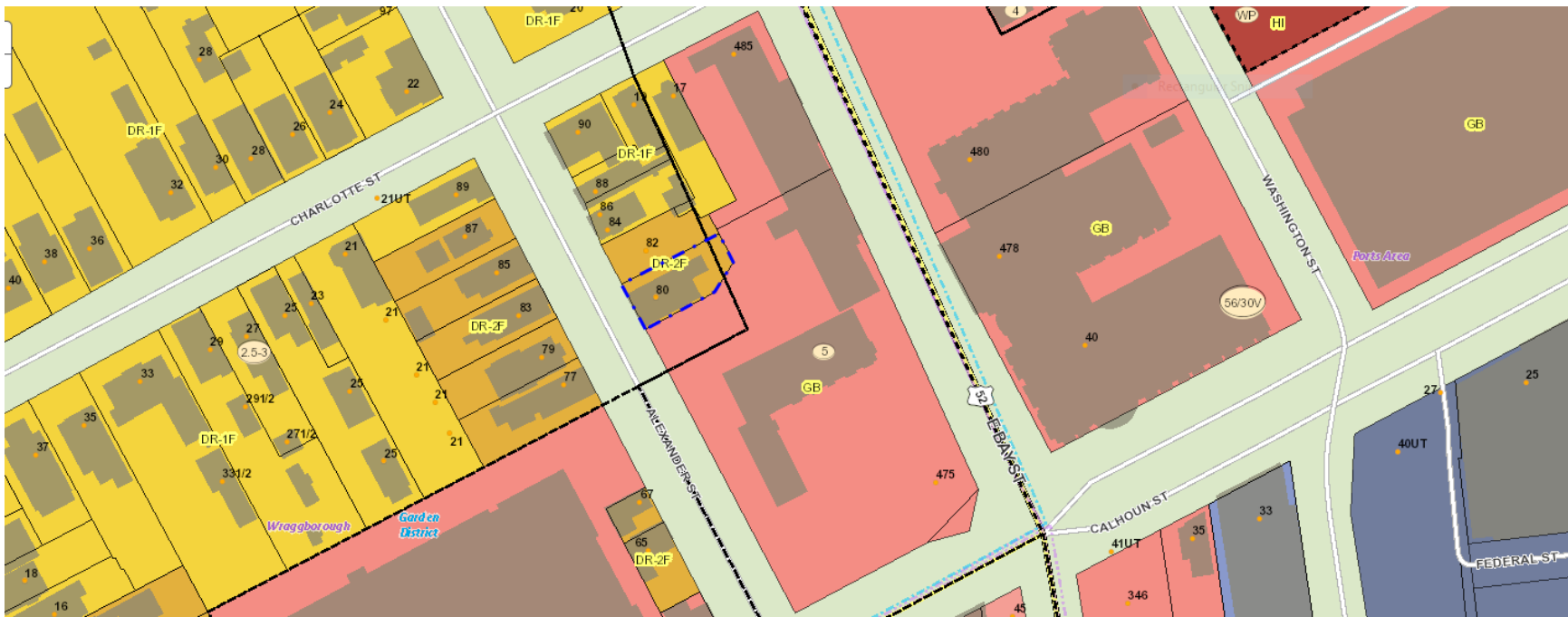
80 ALEXANDER STREET  
(WRAGGBOROUGH)  
TMS # 459-13-04-045

Request variance from Sec. 54-301 to allow a 1-story addition (master bedroom/bath/closet) with a 0.9-ft. north side setback (3-ft. required).

Zoned DR-2F











City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

**MEETING DATE REQUESTED:** August 17, 2021

Property Address 80 Alexander Street TMS # 459-13-04-045

Property Owner Cheryl Noble & Thomas Conklin Daytime Phone

Applicant Glenn Keyes Architects Daytime Phone 722-4100

Applicant's Mailing Address 12B Vanderhorst Street

E-mail Address gk@glenkeyesarchitects.com

Relationship of applicant to owner (same, representative, prospective buyer, other) design professional

Zoning of property DR-1F

**Information required with application: (check information submitted)**

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Date 7-19-21

**For office use only**

Date application received Staffperson Fee \$ Time application received Receipt #

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

See attached

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**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

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For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**

## Variance Test

## 1. There are extraordinary &amp; exceptional conditions pertaining to the property

80 Alexander has a unique condition; there is an existing historic structure with a parking lot to the north. Since the property line between 80 and 82 Alexander has been abandoned, 80 Alexander is a wider lot with an awkwardly stepped property line to the north and no room to create an addition to the rear. Thus, the decision was made to build on the existing parking lot.

## 2. These conditions do not generally apply to other properties in the vicinity

Surrounding residential properties on Alexander Street, with some exceptions, have more regular shapes and building layouts, ie a house at the street with or without a rear dependency. Most nearby properties are deeper than 80 Alexander, with room to add on to the rear. The parking lot provided a rare opportunity to build needed square footage next to, rather than behind, the existing house.

## 3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property

Restricting the length of the addition to the north will create an awkward unusable space between the neighboring driveway and proposed structure. The Sanborn maps reflect the historic building pattern of designing to the north property line. Our proposed addition continues this pattern.

## 4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance

The proposed addition is one-story and aligns with the façade of the existing house at 80 Alexander. Its design is compatible with the historic house. It will not affect any adjacent properties since water shedding off the roof will be handled on the property. The addition improves the streetscape by replacing a modern CMU wall.

### EXTERIOR MODIFICATIONS

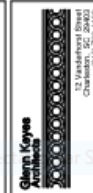
BZA SUBMITTAL FOR VARIANCE FOR  
PROPOSED ADDITIONS TO EXISTING RESIDENCE

CONSTRUCTED 1820-1810, ALTERED CA 1886, SITE OF THAT PORTION OF MAZYCK'S PASTURE WHERE A NOBLE LIVE OAK TREE (NOW KNOWN AS THE LIBERTY TREE) WAS FORMALLY DEDICATED TO "LIBERTY" BY CHARLESTON JOHN WILKES CLUB IN 1766. OWNED BY THE GADSDEN ESTATE, THIS AND ADJONING FARMS WERE ACQUIRED BY WILLIAM WHEELER PLANTER AND SLAVERY OWNER IN 1807. A SUBSEQUENT OWNER, THE FIAZZAS, THE GREEK REVIVAL DOOR SURROUNDS, AND THE VICTORIAN WINDOW HEADS, A THIRD STORY AND ROOF WERE DAMAGED AND REMOVED AFTER THE EARTHQUAKE OF 1886.

A000	TITLE SHEET
EA001	EXISTING SITE PLAN
F1	SITE PHOTOS
F2	SITE PHOTOS
SITE	SANBORN INSURANCE MAP COMPARISON
EA101	EXISTING FIRST FLOOR PLAN
EA102	EXISTING SECOND FLOOR PLAN
EA103	EXISTING ROOF PLAN
EA201	EXISTING WEST ELEVATION
EA202	EXISTING SOUTH ELEVATION
EA203	EXISTING EAST ELEVATION
EA204	EXISTING NORTH ELEVATION
A001	PROPOSED SITE PLAN
A101	PROPOSED FIRST FLOOR PLAN
A102	PROPOSED SECOND FLOOR PLAN
A103	PROPOSED ROOF PLAN
A201	PROPOSED WEST ELEVATION
A202	PROPOSED SOUTH ELEVATION
A203	PROPOSED EAST ELEVATION
A204	PROPOSED NORTH ELEVATION
A205	PROPOSED STREETScape
A206	PROPOSED STREETScape



CHERYL NOBLE & THOMAS CONKLIN  
83 ALEXANDER STREET  
CHARLESTON, SC 29401



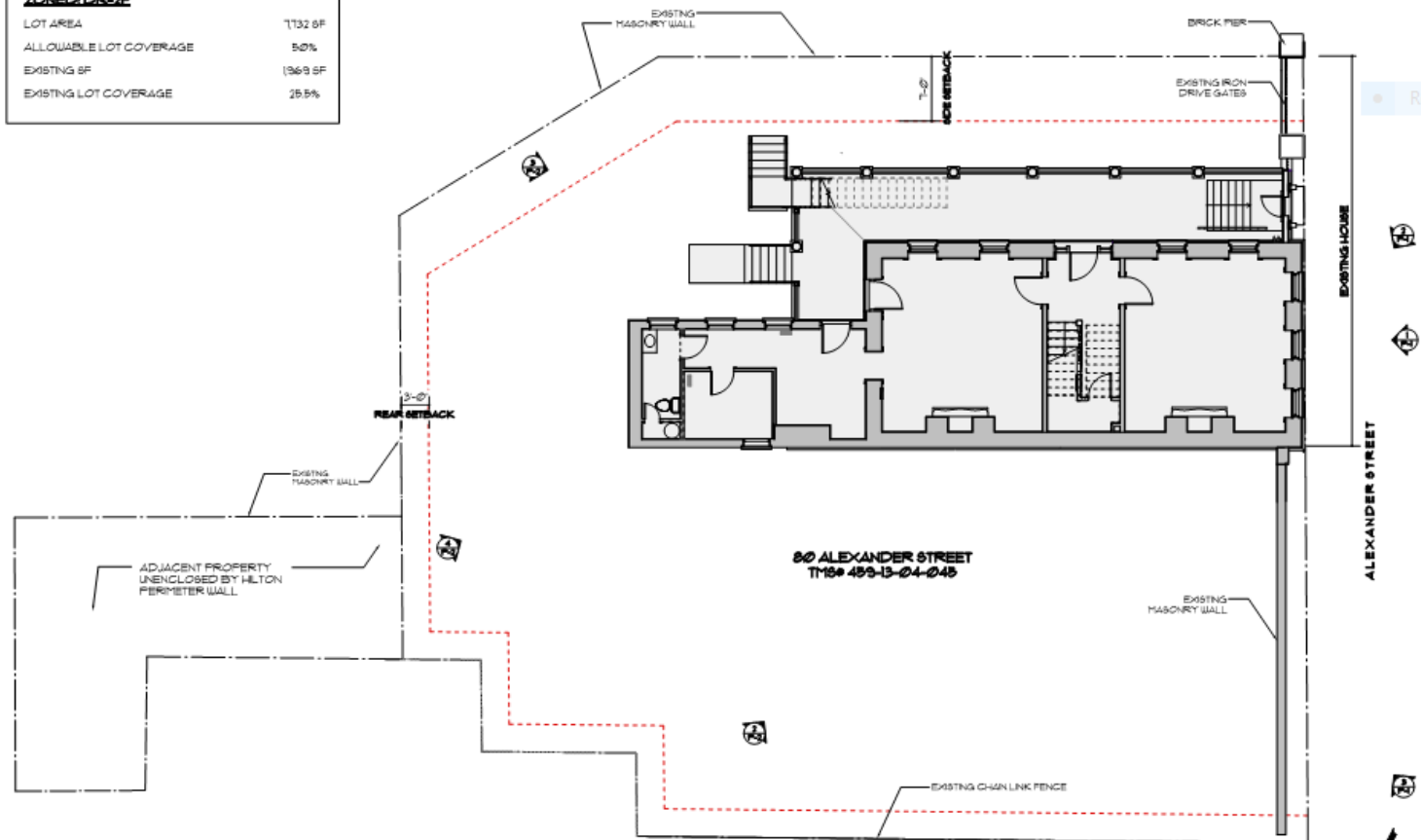
**Gadsden-Dewees House**  
80 Alexander Street  
c.1767, modified after 1886  
CHARLESTON SC

**TITLE SHEET**

REV	DATE
PROJECT NUMBER	
210	
ISSUING DATE	
7/19/71	
SHEET NUMBER	
A000	

**ZONED DR-2E**

LOT AREA	7132 SF
ALLOWABLE LOT COVERAGE	50%
EXISTING SF	1369 SF
EXISTING LOT COVERAGE	25.5%



**80 ALEXANDER STREET**  
TEL: 455-13-04-045

**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"

Return to Site

Glenn Hayes

12 Westinghouse Street  
Charleston, SC 29405  
www.glenneyes.com

**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC

**EXISTING  
SITE PLAN**

NO.	DATE
1	2/03
2	6/16/21
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**EA001**



1 WEST ELEVATION  
NO SCALE



2 STREETScape LOOKING NORTHEAST  
NO SCALE



3 STREETScape LOOKING SOUTHEAST  
NO SCALE



Gadsden-Dewees House  
80 Alexander Street  
Charleston, SC

# PHOTOS

REV	DATE

PROJECT NUMBER 2014

DRAWING DATE 6/16/21

DRAWING NUMBER

P-1





1 SOUTH ELEVATION  
NO SCALE



2 NORTH ELEVATION  
NO SCALE



3 EAST ELEVATION  
NO SCALE



4 NORTHEAST ELEVATION  
NO SCALE

**Glenn Kaye Architects**  
12 Westwood Drive  
Charleston, SC 29403  
(843) 723-1111  
www.glennkaye.com

**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC

**PHOTOS**

NO.	DATE

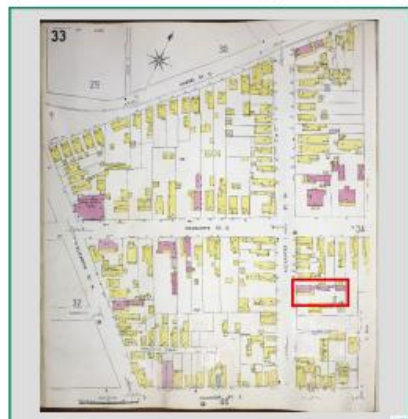
PROJECT NUMBER: 2014  
DRAWING DATE: 6/16/21  
SHEET NUMBER: P-2





**Miss Taylor: First Interview**  
Publisher: Good and Beautiful  
First edition: Spring, 2010  
ISBN: 978-1-60342-000-0  
Revised: 2011  
Copyright © 2011  
www.goodandbeautiful.com

1902



22. Answer: A is correct. The correct answer is 100.

**Map Type:** Fire Insurance  
**Author:** National Map Co.  
**Publisher/Issue:** Insurance Map of Charleston, South Carolina Volume One  
**Map Date:** 1894  
**Revised Date:** February 1904  
**Reproduction:** 2004

1951



Map Type: Polygons  
Publisher: Graham Nye Co  
Publication Date: November 1982  
Base Map Date: 1982  
Revised Date: April 1984  
Revised Date: 1984

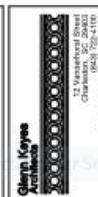
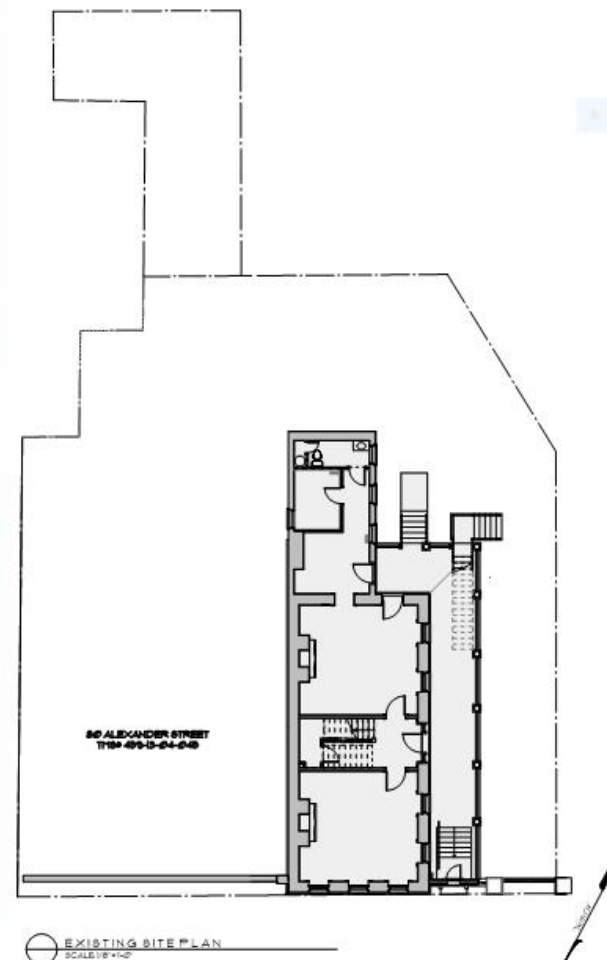
1944



1. *Identify the main idea of the passage.*

**Map Type:** Free information  
**Editor:** Gordon May Jr.  
**Publisher:** American Institute of Graphic Arts, South Carolina College  
**Map No.:** 1000  
**Scale:** 1:1000  
**Scale:** 1:1000

1955

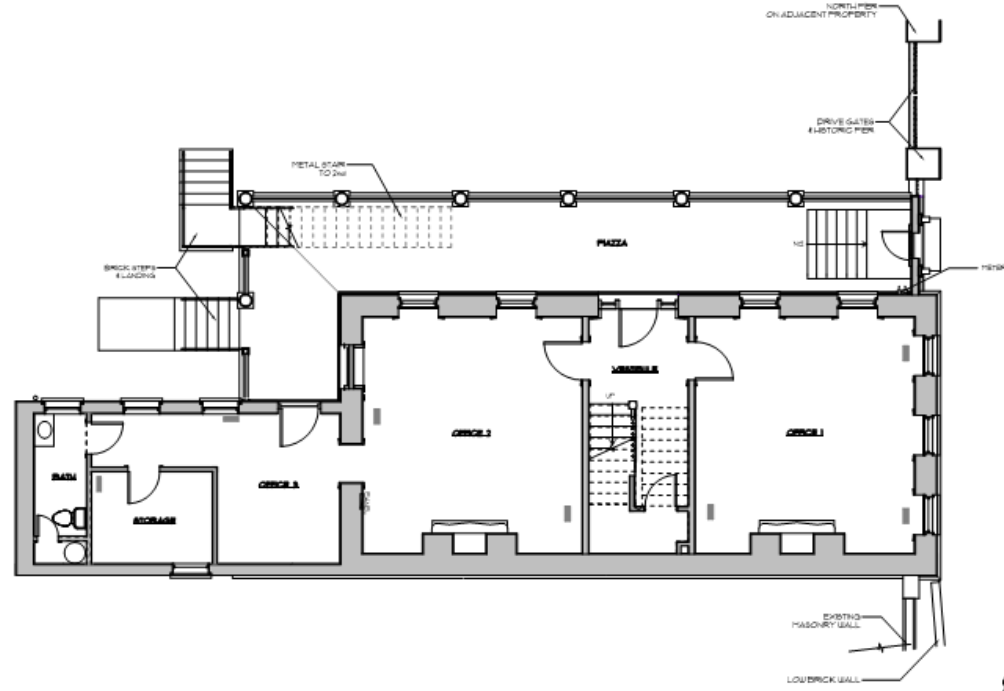


**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC

### SITE INFORMATION

REV	DATE
PROJECT NUMBER 2103	
DRAWING DATE 7/21	
SHEET NUMBER	
<b>SITE</b>	

## SITE



1 EXISTING FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

Relax & Snip

Clara Koye  
Architect

12 Vandenberg Street  
Charleston, SC 29405  
www.clarakoyearchitects.com

Gadsden-Dewees House  
80 Alexander Street  
Charleston, SC

EXISTING  
FIRST FLOOR PLAN

NO.	DATE
PROJECT NUMBER	2103
DRAWING DATE	6/16/21
DRAWING NUMBER	EAI01



Ann Kayes  
Chiefs

**Glenn Keyes Architects**  
12 Vanderhorst Street  
Charleston, SC 29402  
(843) 752-4116  
[www.glennkeyesarchitects.com](http://www.glennkeyesarchitects.com)

**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC

**EXISTING  
SECOND FLOOR  
PLAN**

REV.	DATE
PROJECT NUMBER	
2103	
DRAWING DATE	
6/16/21	
SHEET NUMBER	
EA102	





PROJECT NUMBER	203
DRAWING DATE	6/16/21
SHEET NUMBER	EA20



**Glenn Keyes  
Architects**

12 Vandenhof Street  
Charleston, SC 29403  
(843) 722-4100  
[www.glennkeyesarchitects.com](http://www.glennkeyesarchitects.com)

**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC

SOUTH  
ELEVATION

REV	DATE

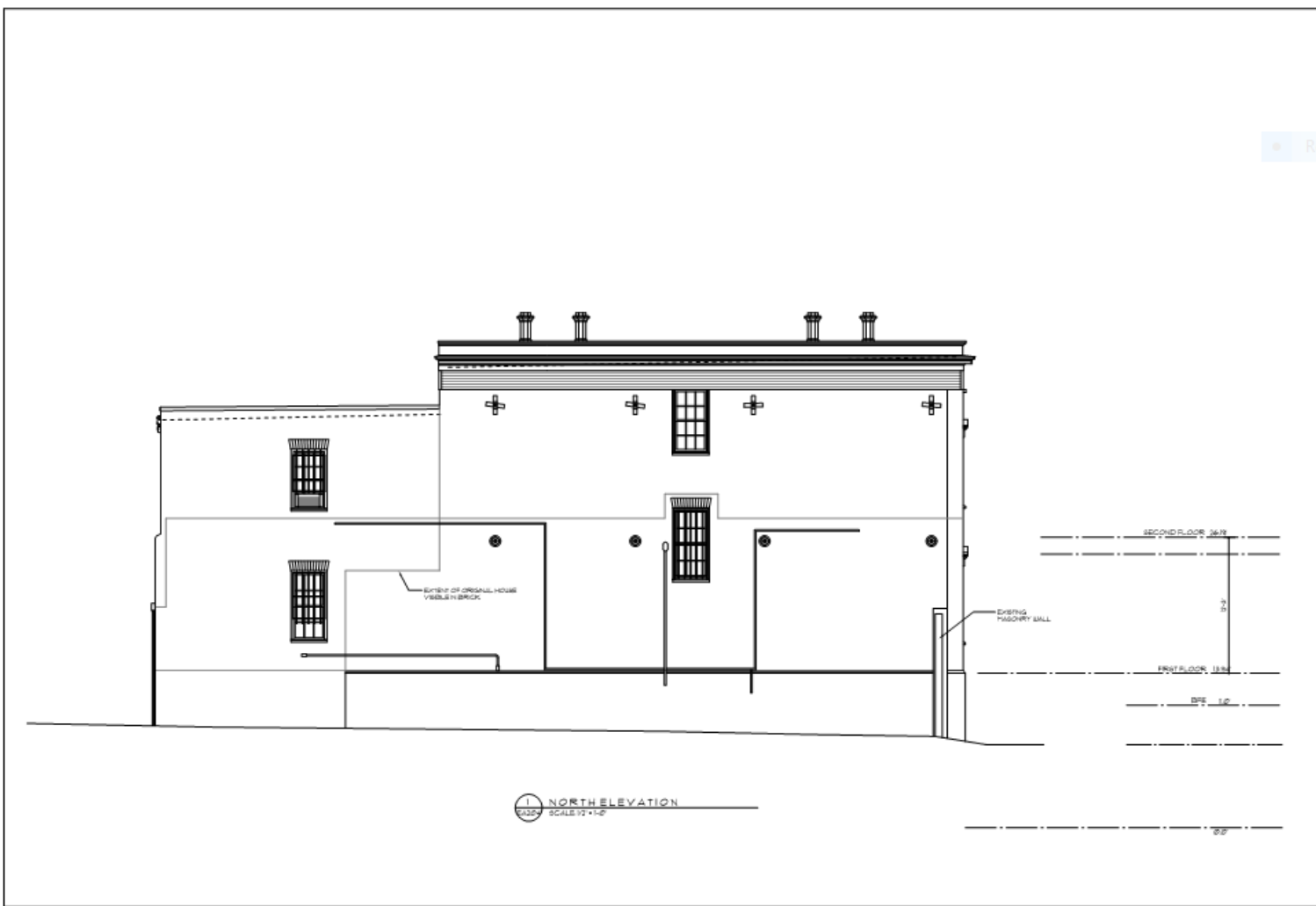
PROJECT NUMBER: 2013

DRAWING DATE: 6/16/21

SHEET NUMBER: EA202









Glenn Korte  
Architects  
215 Market Street, Suite 200  
Charleston, SC 29401  
(843) 724-1100  
www.glennkorte.com

Gadsden-Dewees House  
80 Alexander Street  
Charleston, SC

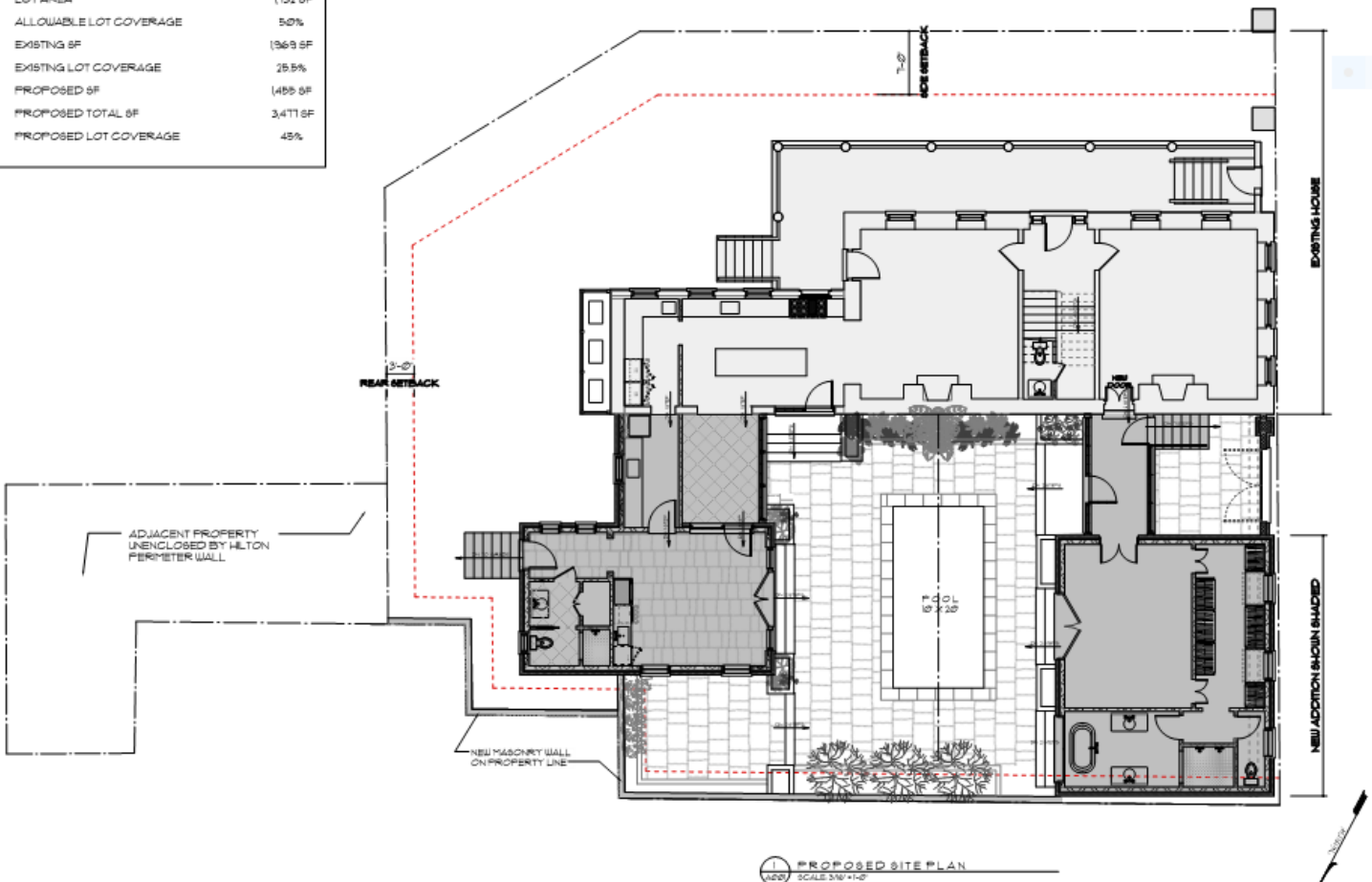
**NORTH  
ELEVATION**

REV.	DATE

PROJECT NUMBER	2013
DRAWING DATE	6/16/21
DRAWING NUMBER	EA204

**ZONED DR-2E**

LOT AREA	7132 SF
ALLOWABLE LOT COVERAGE	50%
EXISTING SF	1369 SF
EXISTING LOT COVERAGE	25.5%
PROPOSED SF	1485 SF
PROPOSED TOTAL SF	3471 SF
PROPOSED LOT COVERAGE	45%



Glenn Keyes  
Architects

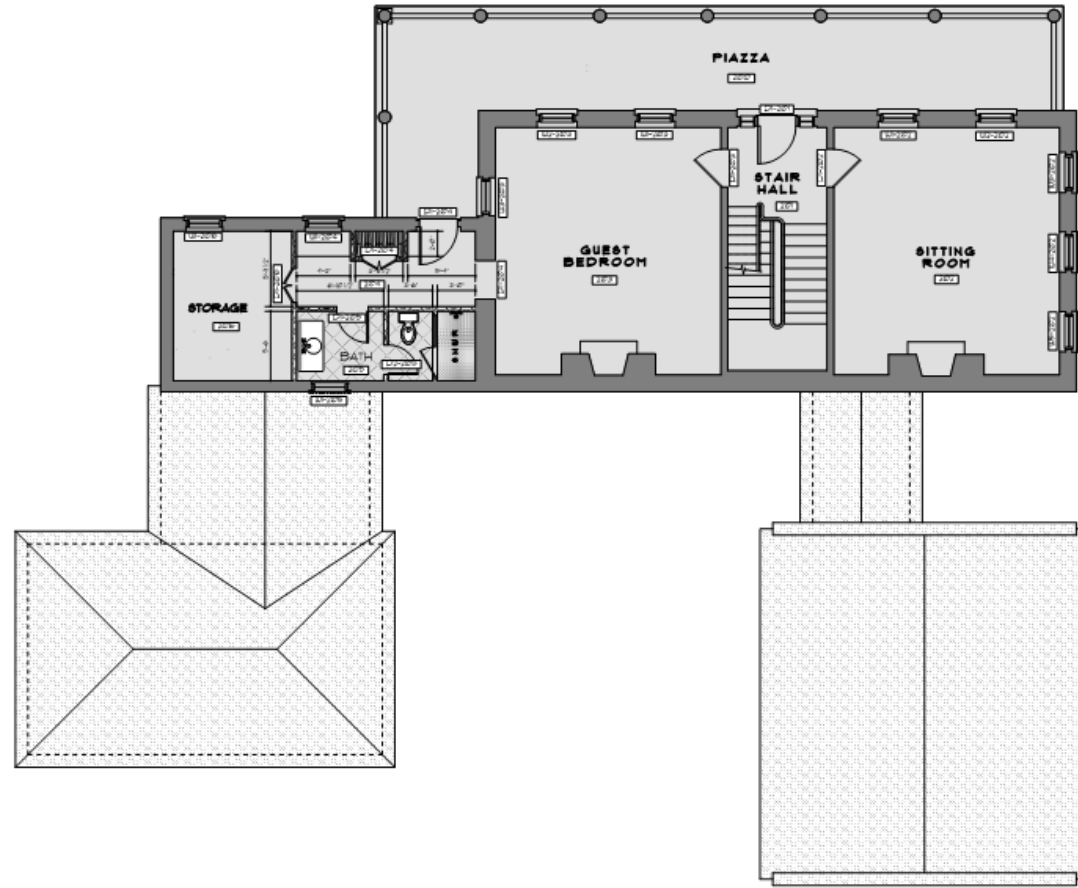
12 Westpark Street  
Charleston, SC 29403  
www.glennkeyesarchitects.com

Gadsden-Devees House  
80 Alexander Street  
Charleston, SC

**PROPOSED  
SITE PLAN**

NO.	DATE
PROJECT NUMBER	2014
DRAWING DATE	7/19/21
DRAWING NUMBER	A001





1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

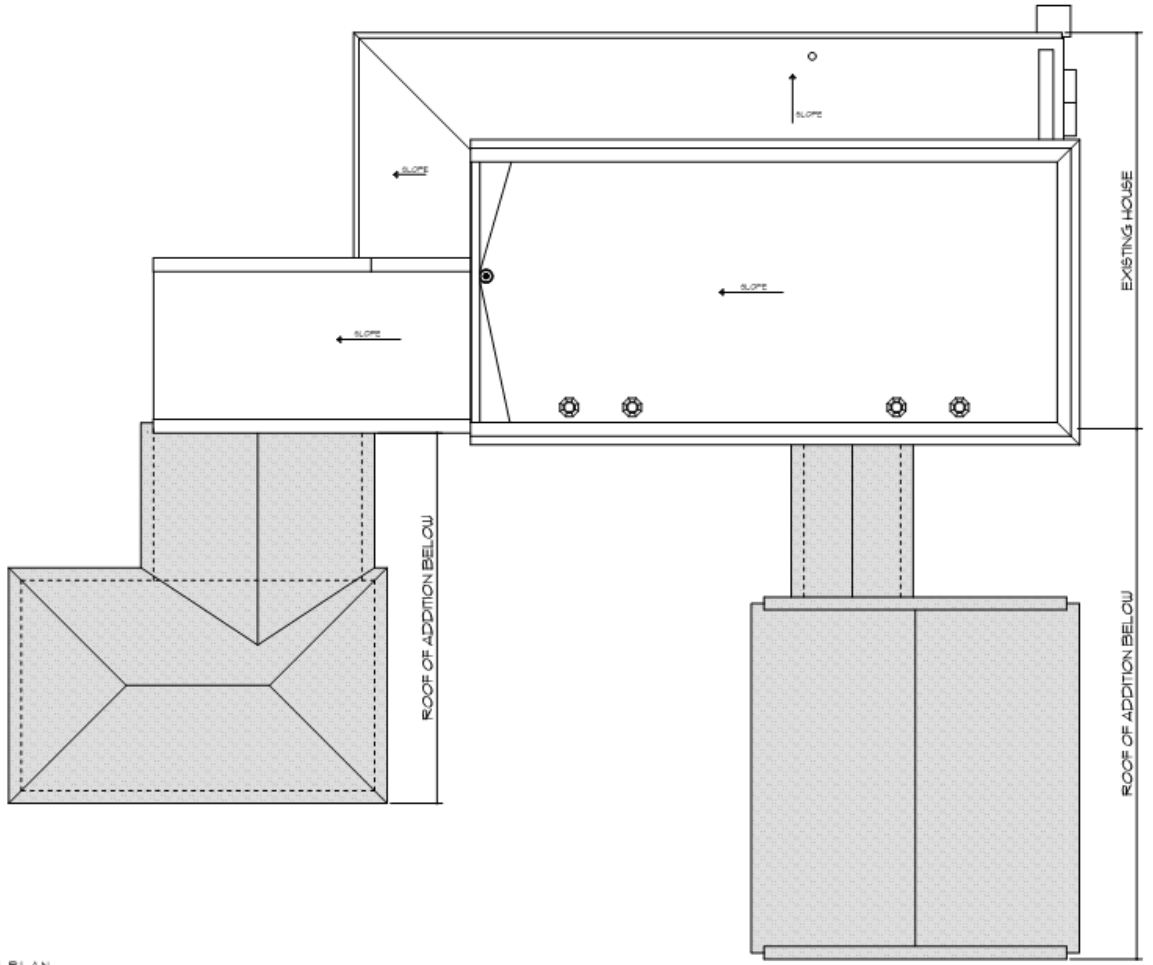
Client: Kyles  
Architect  
12 Vassar Street  
Charleston, SC 29405  
(843) 724-4100  
www.gadsden-devees.com

Gadsden-Devees House  
80 Alexander Street  
Charleston, SC

SECOND FLOOR PLAN

NO.	DATE
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PROJECT NUMBER: 2103  
DRAWING DATE: 7/13/21  
SHEET NUMBER: A102



1 PROPOSED ROOF PLAN  
2/03 SCALE 1/4" = 1'-0"



<b>Sharp Keyes</b> ARCHITECTS 12 Mansfield Street Charleston, SC 29403 (803) 722-4100 www.sharkeyesarchitects.com	
<b>Gadsden-Devees House</b> 80 Alexander Street Charleston, SC	
<b>ROOF PLAN</b>	
REV.	DATE
PROJECT NUMBER	2/03
DRAWING DATE	1/19/21
SHEET NUMBER	<b>A103</b>







1 PROPOSED SOUTH ELEVATION  
 1/2" = 1'-0"

**Glenn Keyes  
Architects**  
125 West Street  
Charleston, SC 29401  
www.glennkeyesarchitects.com

*Gadsden-Devees House*  
 80 Alexander Street  
 Charleston, SC  
 CHARLESTON, SC

**SOUTH ELEVATION**

NO.	DATE

PROJECT NUMBER: 2013  
 DRAWING DATE: 1/15/21  
 SHEET NUMBER: A202





**Gadsden-Dewees House**  
80 Alexander Street  
Charleston, SC  
CHARLESTON, SC

**NORTH ELEVATION**

REV.	DATE
PROJECT NUMBER	2013
DRAWING DATE	1/19/21
SHEET NUMBER	A204

**Gann Keyes Architects**  
15 Macintosh Street  
Charleston, SC 29403  
www.gannkeyesarchitects.com





## **Agenda Item #B-3**

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1679 PINCKNEY PARK DRIVE

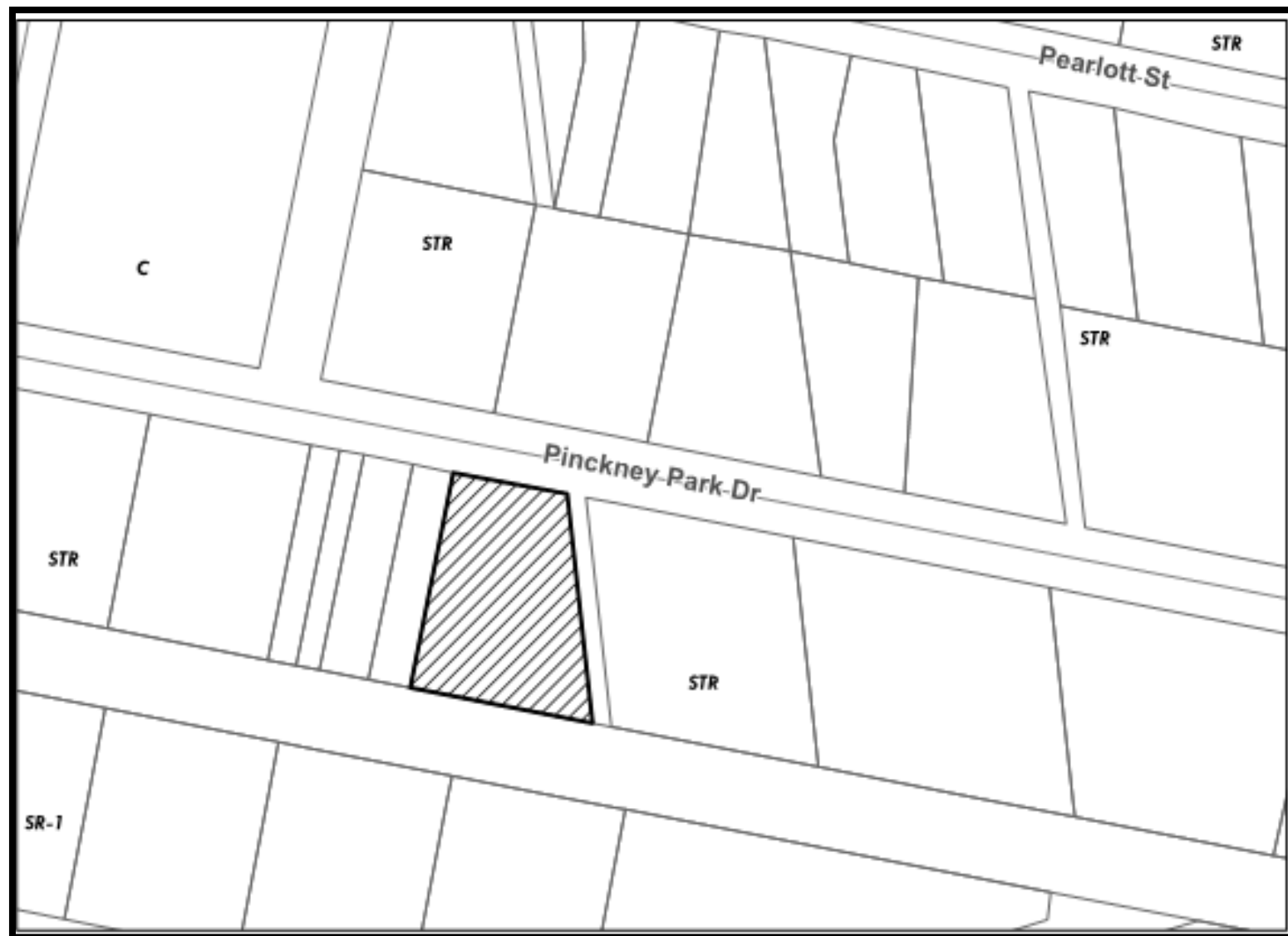
(DUPONT STATION)

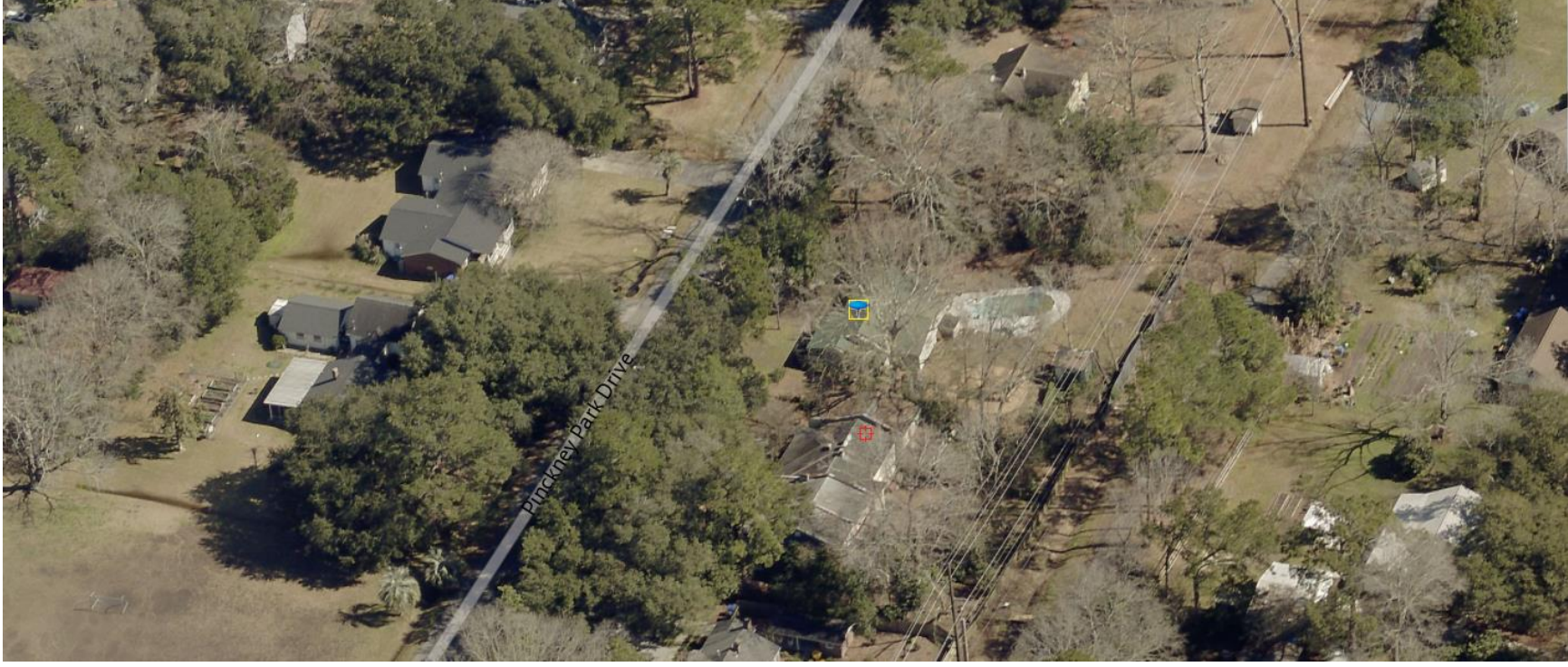
TMS # 350-06-00-105

Request VARIANCE FROM Sec. 54-301 to allow construction of an 8-ft. fence and gate to the rear property line (6-ft. limitation).

Zoned STR











City of Charleston

Instructions – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

THE APPLICANT HEREBY REQUESTS:

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: \_\_\_\_\_

Property Address 1679 Pinckney Road TMS # \_\_\_\_\_

Property Owner Robert Clendenin Daytime Phone \_\_\_\_\_

Applicant Brien Bernards Daytime Phone 843-737-3724

Applicant's Mailing Address 1773 OLD MILITARY RD CHARLESTON, SC 29412

E-mail Address Brien.bernards@mycompany.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Family Contractor

Zoning of property \_\_\_\_\_

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

Optional but very helpful information:

- ☒ Photographs  
☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Brien Bernards Date 5-17-21

For office use only

Date application received \_\_\_\_\_  
Staffperson \_\_\_\_\_

Fee \$ \_\_\_\_\_

Time application received \_\_\_\_\_

Receipt # \_\_\_\_\_



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

To Install 8ft Fence at back Fence Line. Property backs directly up to public greenway. Greenway use to be barrierred by natural fence but Dominion cut down exposing back yard to public. Greenway is elevated - 6ft Fence will not provide privacy. Owners fear for child safety and protection from traffic on greenway.

**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. [SC Code of Laws § 6-29-800]

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.



**Project Name:** Rob Clendenin 1679 Pinckney Park Rd Charleston, SC 29407

**Zoning Appeals:**

Please refer to the below photos showing the reasoning of why the property owners are requesting to install an 8ft horizontal privacy fence at the back fence line of their property. There is a public greenway trail that is immediately behind their home.

The top photo shows the back fence line after Dominion came in to trim the natural barrier between their property and the greenway – as you can see it completely exposes their entire yard now to the public.

The top photo was the natural barrier fence before Dominion came in. It gave the owners privacy along with safety for their children and not open to public exposure.

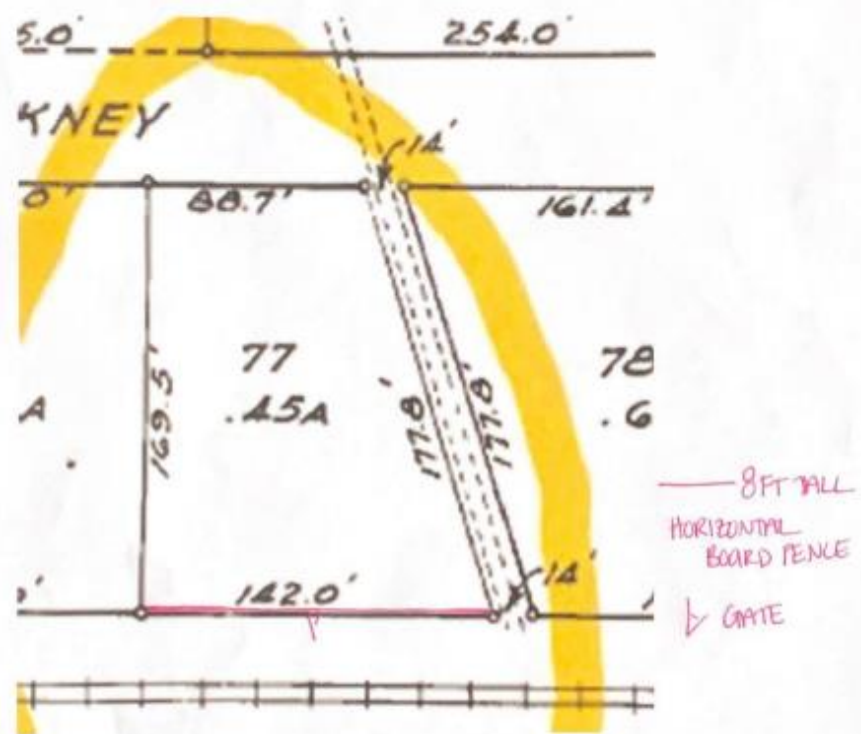




The owner also sent these below photos for reference:

I am 5'11" and I took a picture in front of the fence, on the greenway behind the fence, and with an 8' 2x4 to show the desired height of 8' being needed in order to facilitate the privacy that we had. Pardon the green pool at the moment, but we have a 4 year-old daughter and another little girl that is going to be born any day now, literally my wife is about to burst and we used to have a green privacy buffer (photo attached) that was removed in December and we are looking to gain this lost privacy back, preferably before we have little ones running around and enjoying the pool. Literally this is what we had vs what it is now. We settled out with Dominion and now are ready to get back to normal, but we are now delayed a bit longer because of deadlines and meetings.





## **Agenda Item #B-4**

---

**106 COOPER STREET-DEFERRED  
(EASTSIDE)**

**TMS # 459-05-03-007**

Request special exception under Sec. 54-501 to allow construction of a single-family residence on a lot of insufficient size (Lot area 1,637sf; 2,500sf required).

Request variance from Sec. 54-301 to allow construction of a single-family residence with a 3-ft. west side setback, a 13-ft. total side setback (9-ft. and 15-ft. required).

Zoned GB

## **Agenda Item #B-5**

---

169 CONGRESS STREET

(WESTSIDE)

TMS # 460-03-03-068)

Request special exception under Sec. 54-501 to allow construction of a single-family residence on a lot of insufficient size (Lot area 3,896sf; 4,000sf required).

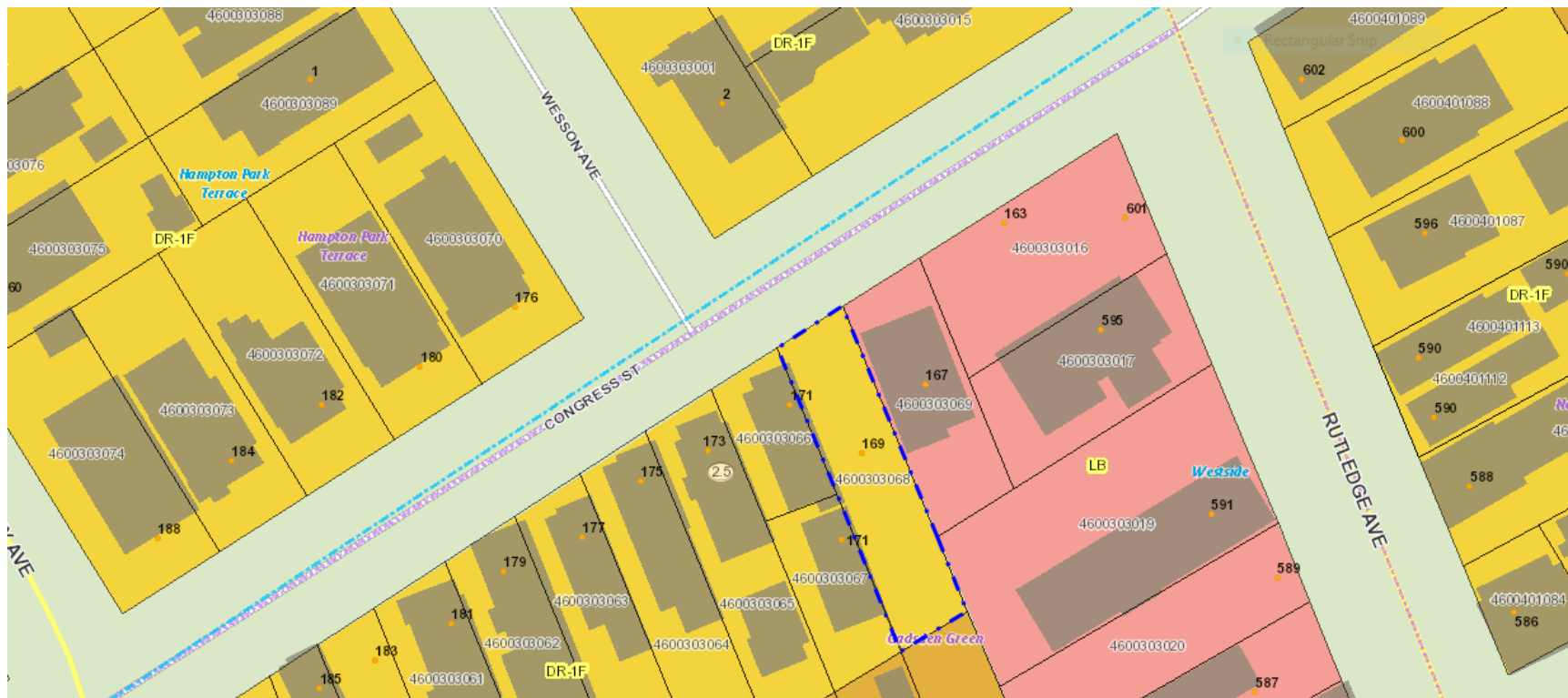
Zoned DR-1F



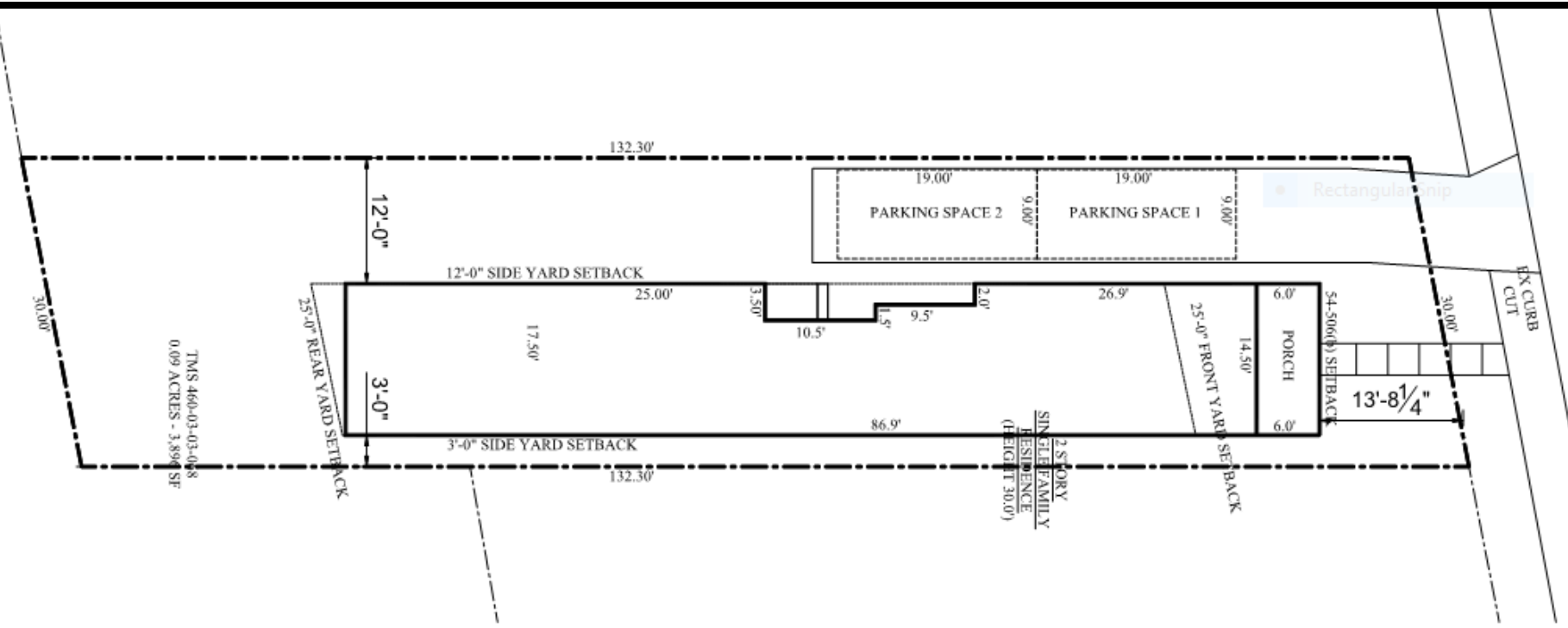




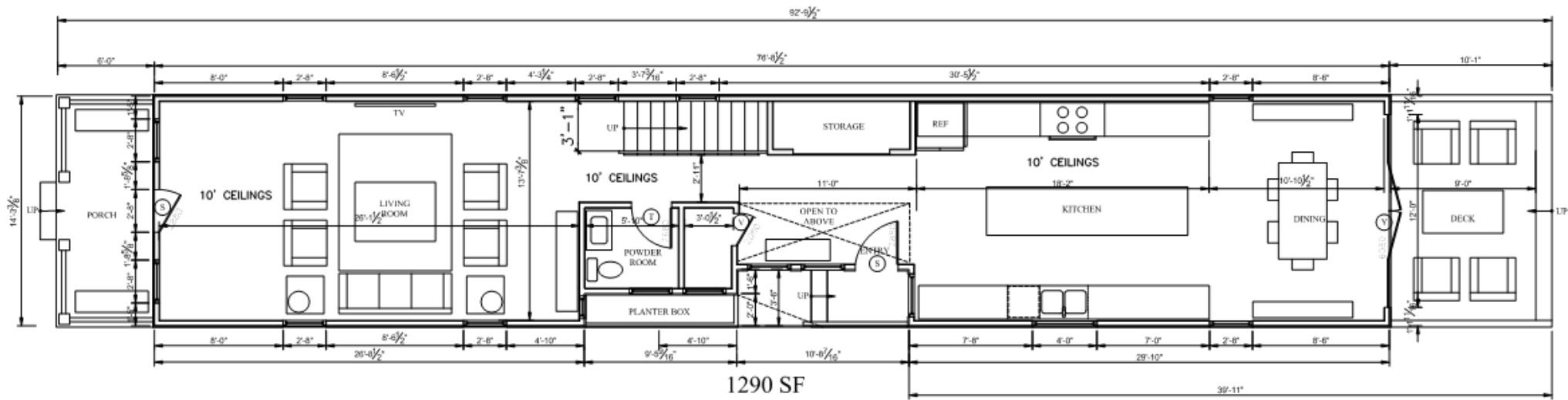




CONGRESS STREET  
50'-0" ROW



• Rectangular Snip



CODE ANALYSIS

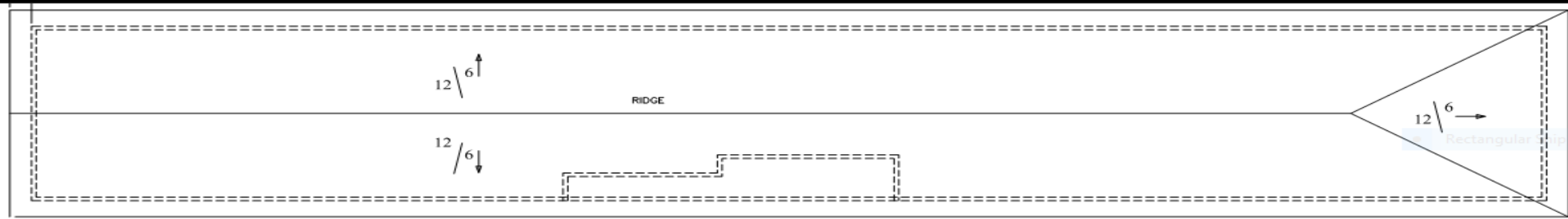
PLANS SHALL COMPLY WITH:

2018 International Residential Building Code with SC Modifications

MAIN FLOOR PLAN

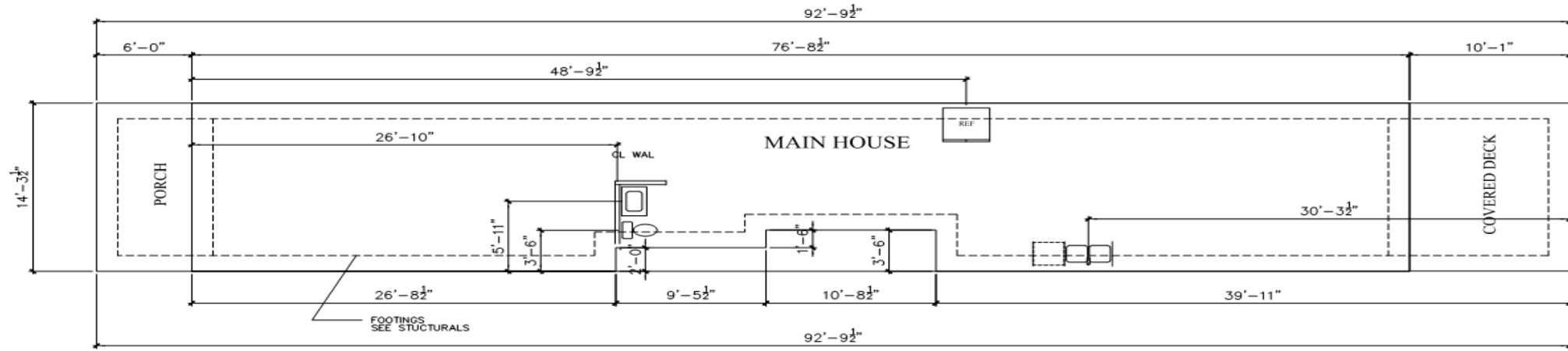
1/4" = 1'-0" (24" X 36")





### ROOF LAYOUT

1/4" = 1'-0" (24" X 36")



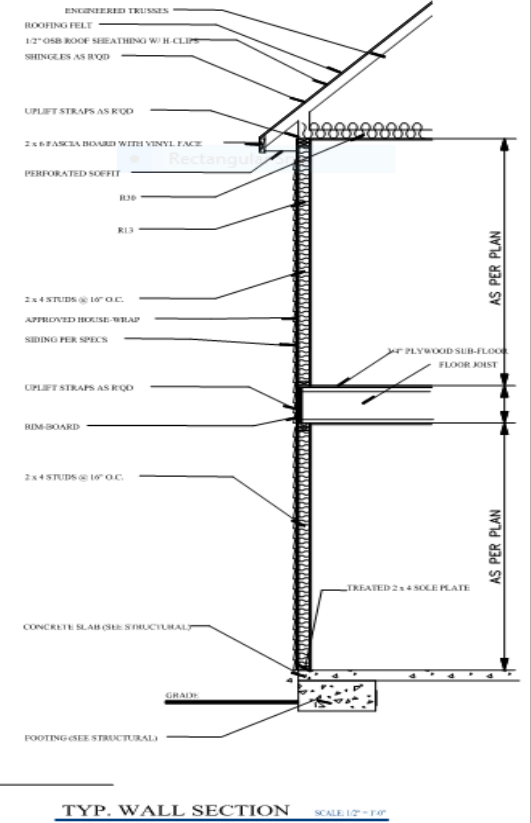
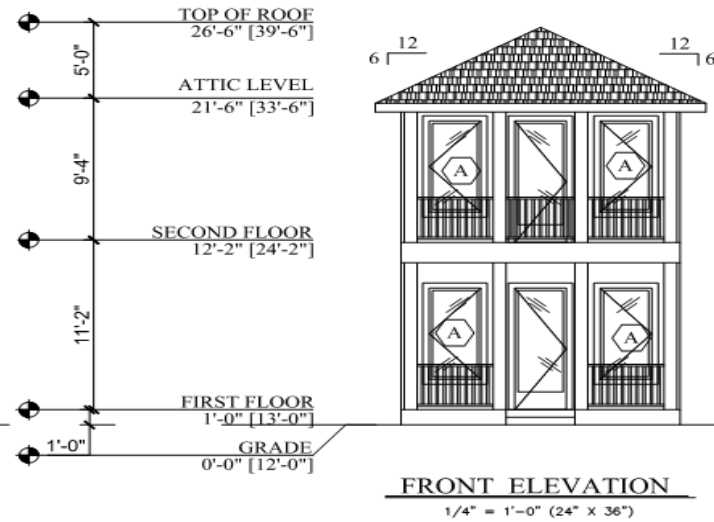
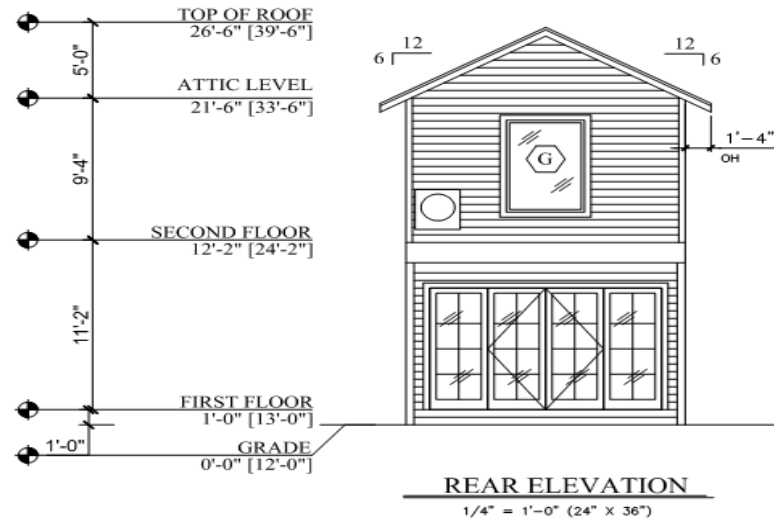
### SLAB LAYOUT

1/4" = 1'-0" (24" X 36")

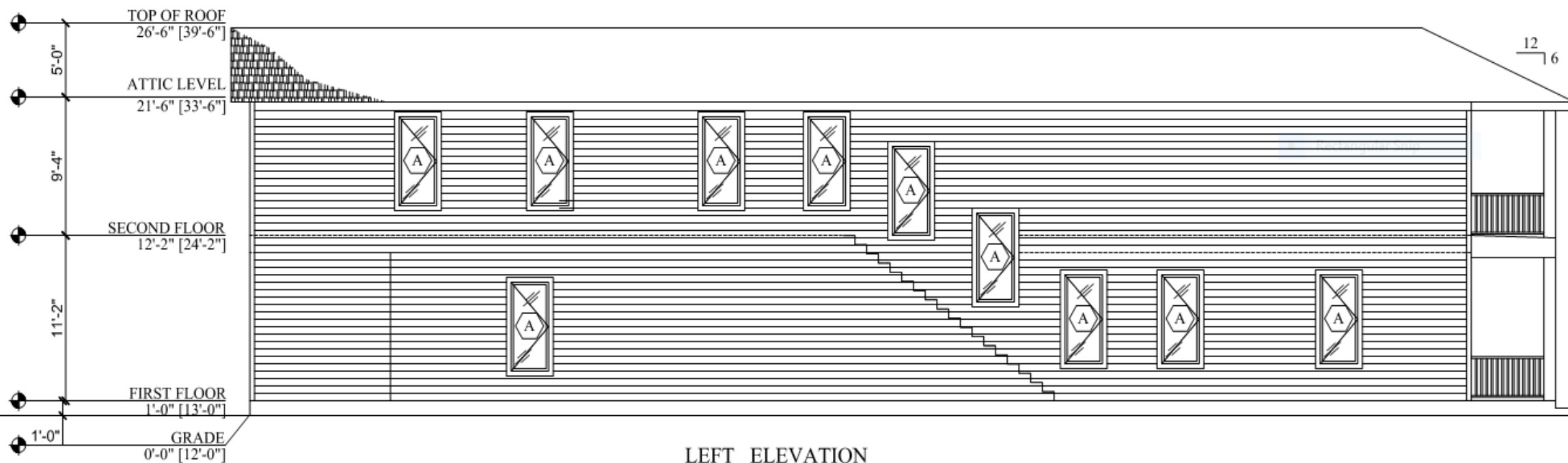
(SEE STRUCTURALS)

# CODE ANALYSIS

PLANS SHALL COMPLY WITH:  
2018 International Residential Building Code with SC Modifications



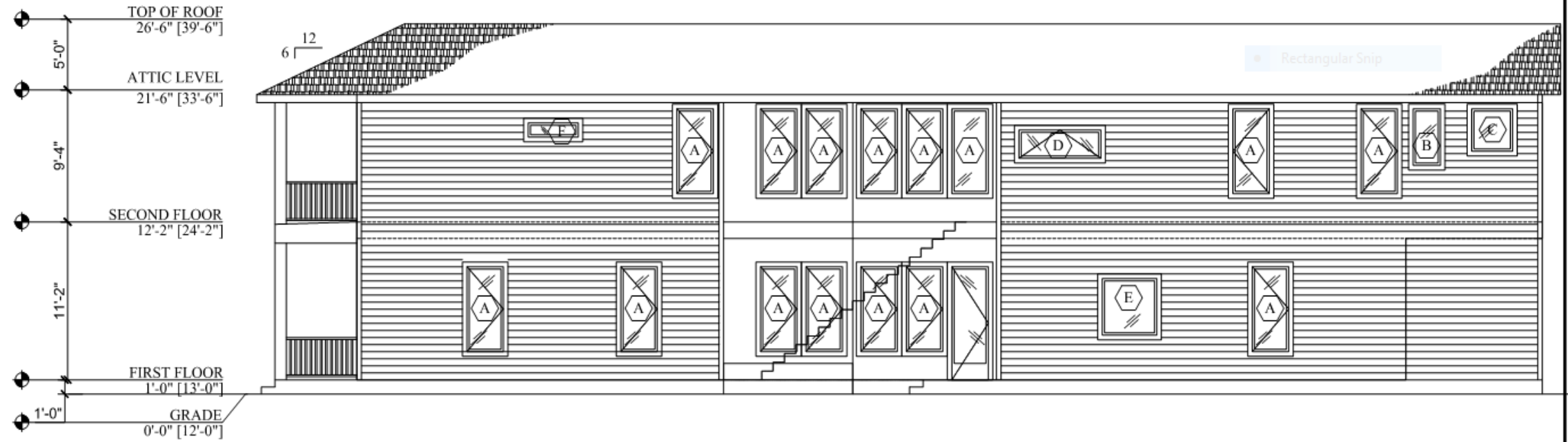




LEFT ELEVATION

1/4" = 1'-0" (24" x 36")

1/4" = 1'-0" (24" X 36")



RIGHT ELEVATION

1/4" = 1'-0" (24" X 36")

**Ashby, Pennye**

---

**From:** George Palmer <george.w.palmer@gmail.com>  
**Sent:** Monday, July 26, 2021 10:53 PM  
**To:** Ashby, Pennye  
**Subject:** WNA Support for Projects

**CAUTION:** This email originated outside of the City of Charleston. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hope that life is treating you well...

During our July 22nd Monthly meeting we voted to support the following projects...

169 Congress Street...Lot of insufficient Size Variance

511 Rutledge Ave.....Usage Variance for a Barber Shop

301 Ashley Ave...Variance for Deck constructed without a Permit, that does not have the correct setbacks

Thanks,

GWPalmer  
President Westside Neighborhood Assoc.

# **Agenda Item #B-6**

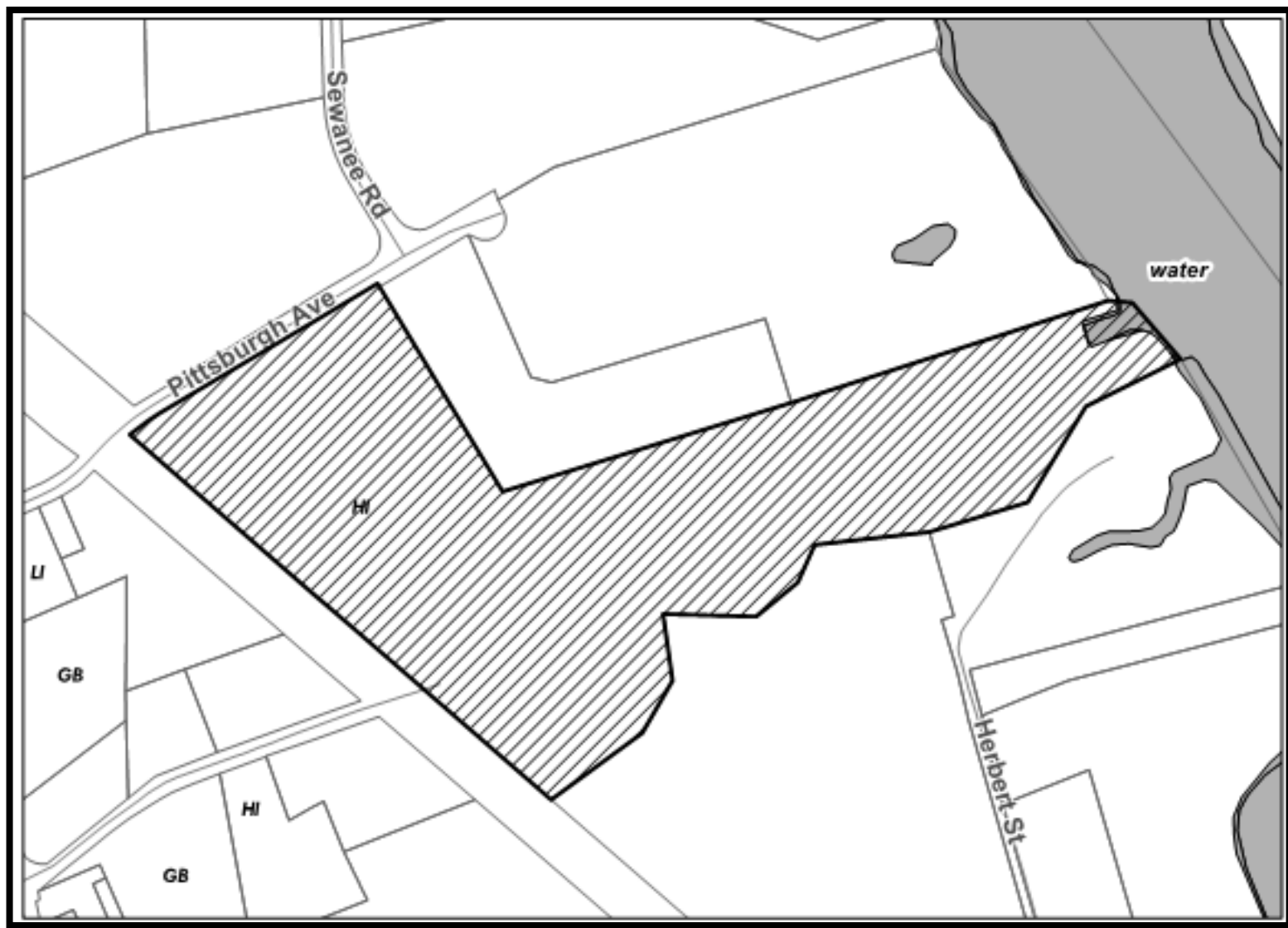
---

1981 PITTSBURG AVENUE

A PORTION OF TMS # (466-00-00-048)

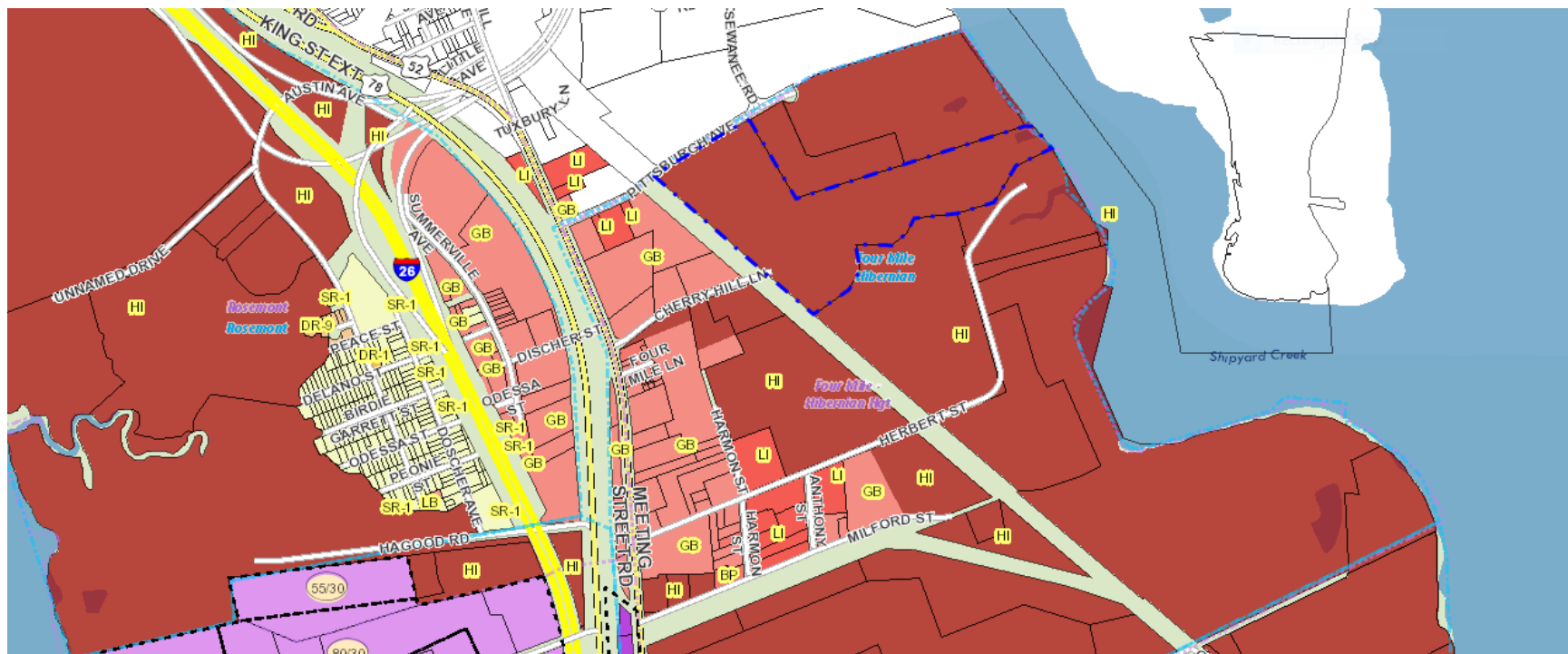
Request variance from Sec. 54-207 to allow the expansion of a shipping container storage yard without the installation of a 25-ft. landscape buffer along Pittsburg Avenue.

Zoned HI





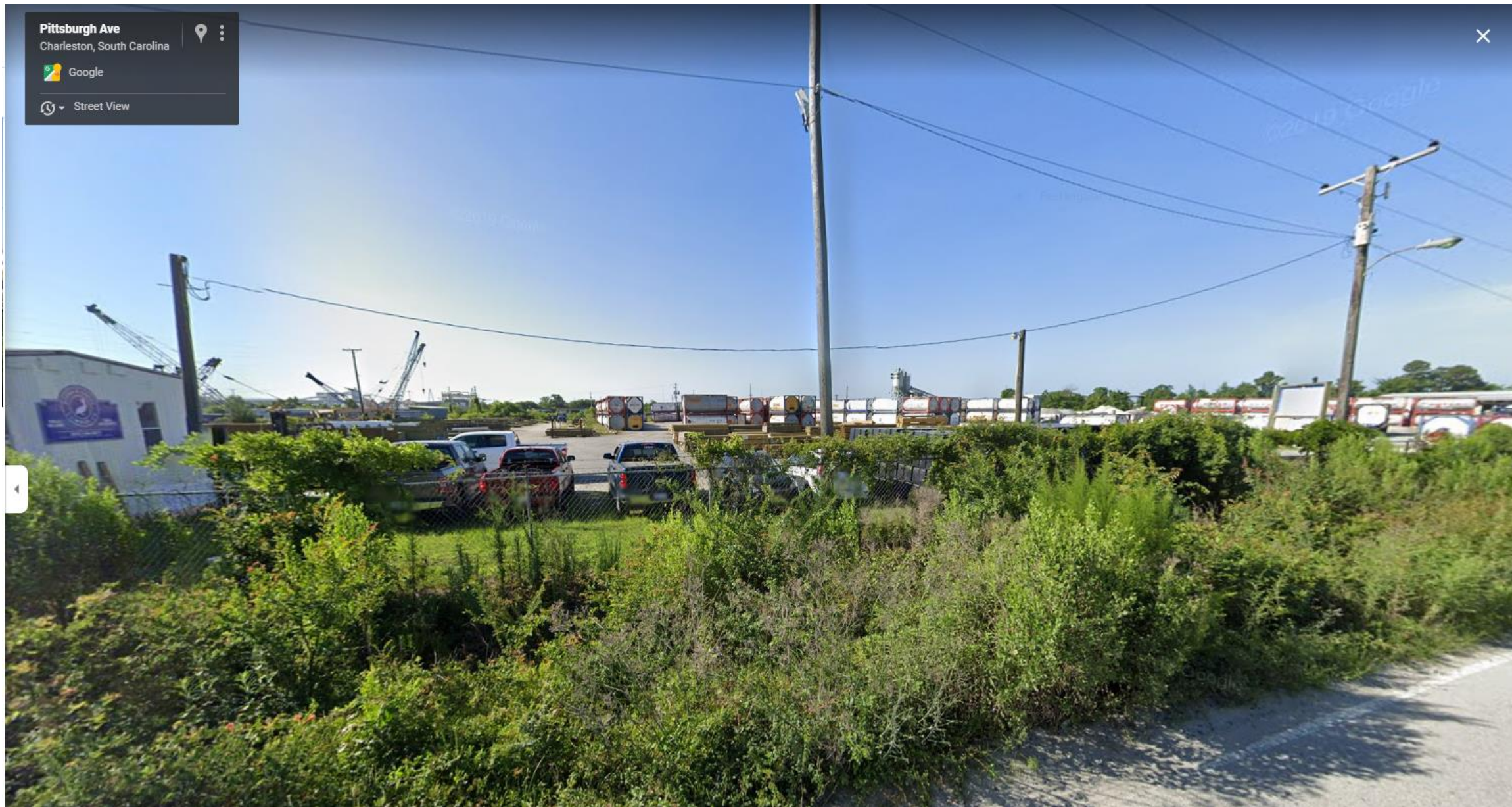




Pittsburgh Ave  
Charleston, South Carolina



Street View







Rect



City of Charleston

**Instructions** – This application, along with the required information and fee, must be submitted to the Permit Center at 2 George Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☐ A Variance and/or Special Exception as indicated on page 2 of this application.
- ☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).
- ☐ Extension of an unexpired Variance and/or Special Exception approval.

MEETING DATE REQUESTED: 8/17/21

Property Address 1981 Pittsburgh Ave. TMS # 466-00-00-048 (Apertion)

Property Owner Teksa Investments LLC Daytime Phone 843-853-9118

Applicant Woodman Kapp Daytime Phone 843-696-9700

Applicant's Mailing Address 230 Seven Farms Dr., Ste 103

Charleston, SC 29492 E mail Address WKapp@meyerKappAssociates.com

Relationship of applicant to owner (same, representative, prospective buyer, other) Representative

Zoning of property Heavy Industrial

**Information required with application: (check information submitted)**

- ☐ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)
- ☐ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans
- ☐ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)
- ☐ Plans or documents necessary to show compliance with special exception requirements (3 sets)
- ☒ Check, credit card or cash (make checks payable to the City of Charleston)
- ☐ YES or ☒ NO - Is this Property restricted by any recorded covenant that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? § 6-29-1145 of the South Carolina Code of Laws

**Optional but very helpful information:**

- ☒ Photographs
- ☐ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Woodman Kapp Date 7/12/2021

**For office use only**

Date application received \_\_\_\_\_  
Staffperson \_\_\_\_\_

Fee \$ \_\_\_\_\_

Date application received \_\_\_\_\_

Receipt # \_\_\_\_\_

For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

*Applicant seeks permission for a Conditional use relative to stacking containers three high on the remaining portion of the property along Pittsburgh Ave (Approx. 2 Acres) An adjacent 4 Acres of the subject property received a conditional use and variance in 2015. The conditional use requires the proposed 2 He. to include the installation of a 25' wide landscape buffer along Pittsburgh Ave. Applicant requests a variance for the buffer requirement. The property across Pittsburgh Ave is currently being used to stack containers and has no buffer as well as the adjacent property mentioned above; therefore the subject 2 Acres*  
**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property;
2. These conditions do not generally apply to other property in the vicinity;
3. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
4. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance.

In granting a variance, the Board may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the board may consider advisable to protect established property values in the surrounding area or to promote the public health, safety, or general welfare. (SC Code of Laws § 6-29-800)

For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as § 54-110, § 54-206, or sections in Article 5 (add as an attachment if necessary):

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**All approvals of the Board shall remain valid for two (2) years from the approval date, unless extended in accordance with the provisions of Article 9, Part 5 of the zoning ordinance. Applicants may not apply for the same request that has been denied by the Board until a period of six (6) months has lapsed.**

*Should be allowed a variance for the buffer.*



## Ashby, Pennye

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**From:** Woody Kapp <wkapp@meyerkappassociates.com>  
**Sent:** Wednesday, July 21, 2021 3:18 PM  
**To:** Ashby, Pennye  
**Subject:** Tekna Aerial

**CAUTION:** This email originated outside of the City of Charleston. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Subject Property Aerial



Meyer  
Kapp  
& Associates



# Agenda Item #B-7

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21 SAVAGE STREET

(CHARLESTOWNE)

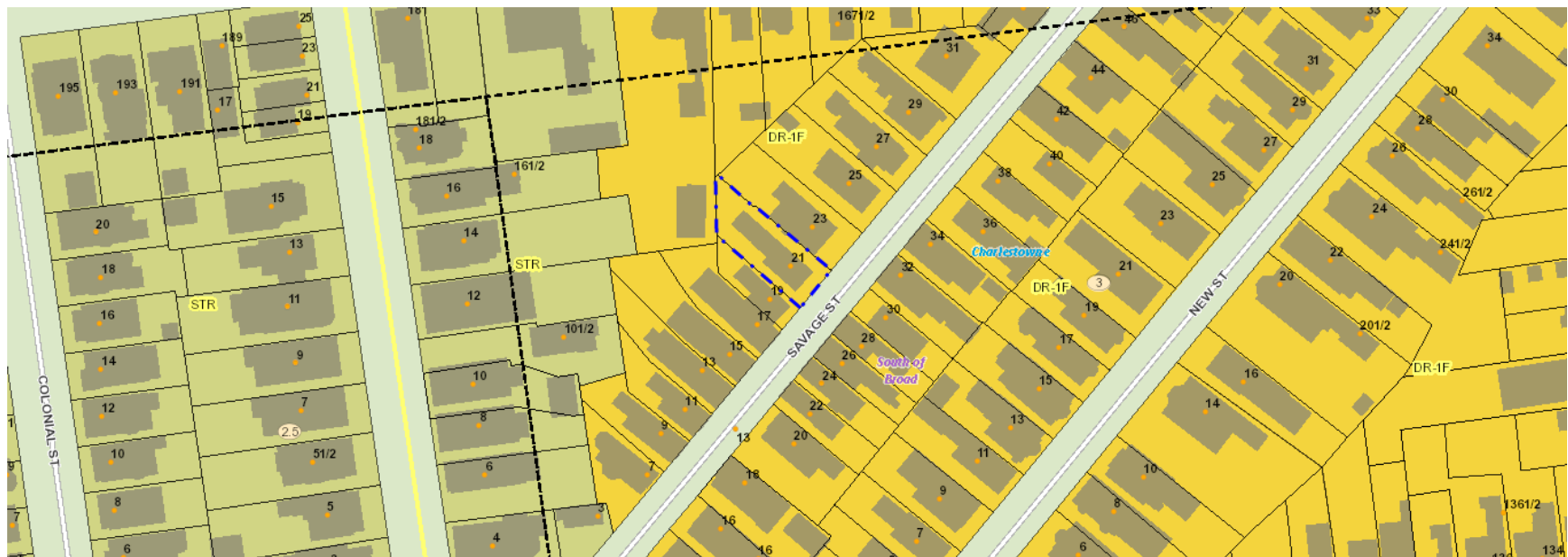
TMS # 457-12-03-053

Request special exception under Sec. 54-110 to allow a vertical extension (sunroom) to a non-conforming building footprint that does not meet the required 3-ft. north side setback and 25-ft. rear setback.

Zoned DR-1F









City of Charleston

**Instructions** – Submit this application, along with the required information and fee, to the Zoning Division office at 75 Calhoun Street. **Applications are due by 12 Noon on the deadline date and must be complete to be accepted and placed on an agenda.** A sign will be posted on the property, and a public hearing will be conducted by the Board of Zoning Appeals – Zoning. **Permits authorized by the Board cannot be issued during a five (5) business day appeal period following the decision of the Board, except for use variances, the appeal period shall be fifteen (15) calendar days.** An appeal to the Board during this appeal period stays all further action on the application.

**THE APPLICANT HEREBY REQUESTS:**

- ☒ A Variance and/or Special Exception as indicated on page 2 of this application.  
☐ Reconsideration of a decision of the Board or action of a zoning official (attach Appeal form).  
☐ Extension of an unexpired Variance and/or Special Exception approval.

**MEETING DATE REQUESTED:** 08/18/21

Property Address 21 Savage Street TMS # 4571203053

Property Owner Roberto Garziera Daytime Phone 843-834-9843

Applicant Kyle Moriarty Daytime Phone 603-707-0249

Applicant's Mailing Address 105 Charlesfort Aly Unit B

Charleston, SC 29403 E-mail Address kyle@collaborativeconstruction.net

Relationship of applicant to owner (same, representative, prospective buyer, other) Contractor

Zoning of property DR-1F

Information required with application: (check information submitted)

- ☒ Scaled plans or plats, including elevations, showing the variance(s) or special exception(s) being requested (3 sets)  
☒ For new construction or additions within a flood zone, show HVAC units and platform on scaled plans  
☒ Scaled floor plans with rooms labeled and the total floor area for each dwelling unit noted are required for all density variances and building additions, unless exempted by the Zoning staff (3 sets)  
☒ Plans or documents necessary to show compliance with special exception requirements (3 sets)  
☐ Check, credit card or cash (make checks payable to the City of Charleston)  
☐ Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this Property, which is the subject of this Application, restricted by any recorded covenant, restriction, easement or other document that is contrary to, conflicts with or prohibits the proposed land use encompassed in this permit application? YES \_\_\_\_\_ NO ☒

Optional but very helpful information:

- ☒ Photographs  
☒ Letters or petitions from neighbors or organizations directly affected by your request

I certify that the information on this application and any attachments is correct, that the proposed improvement(s) comply with private neighborhood covenants, if there are any, and that I am the owner of the subject property or the authorized representative of the owner. I authorize the subject property to be posted with a notice of the Board hearing and inspected.

Applicant Kyle Moriarty Date 7/19/21

For office use only

Date application received \_\_\_\_\_

Staffperson \_\_\_\_\_

Fee \$ \_\_\_\_\_

Time application received \_\_\_\_\_

Receipt # \_\_\_\_\_



For **Variance** requests, applicants should list the specific variance(s) being requested and, if possible, explain how the variance test that follows is met (add as an attachment if necessary):

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**Variance Test:** The Board of Zoning Appeals-Zoning is authorized to approve a variance from the requirements of the Zoning Ordinance when strict application of the provisions of the ordinance would result in unnecessary hardship. A variance may be granted in an individual case of unnecessary hardship if the Board makes the following findings:

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For **Special Exception** requests, applicants should list the specific approval(s) being requested and include documentation to demonstrate compliance with the relevant special exception requirements of the Zoning Ordinance, such as Sec. 54-110, Sec. 54-206, or sections in Article 5 (add as an attachment if necessary):

We are proposing to add a second story at the rear of the home that is currently signal story.

The plan is to use the existing footprint. We have 27' from the property-line at the right rear corner and 16' at the left.

Thank you for your consideration

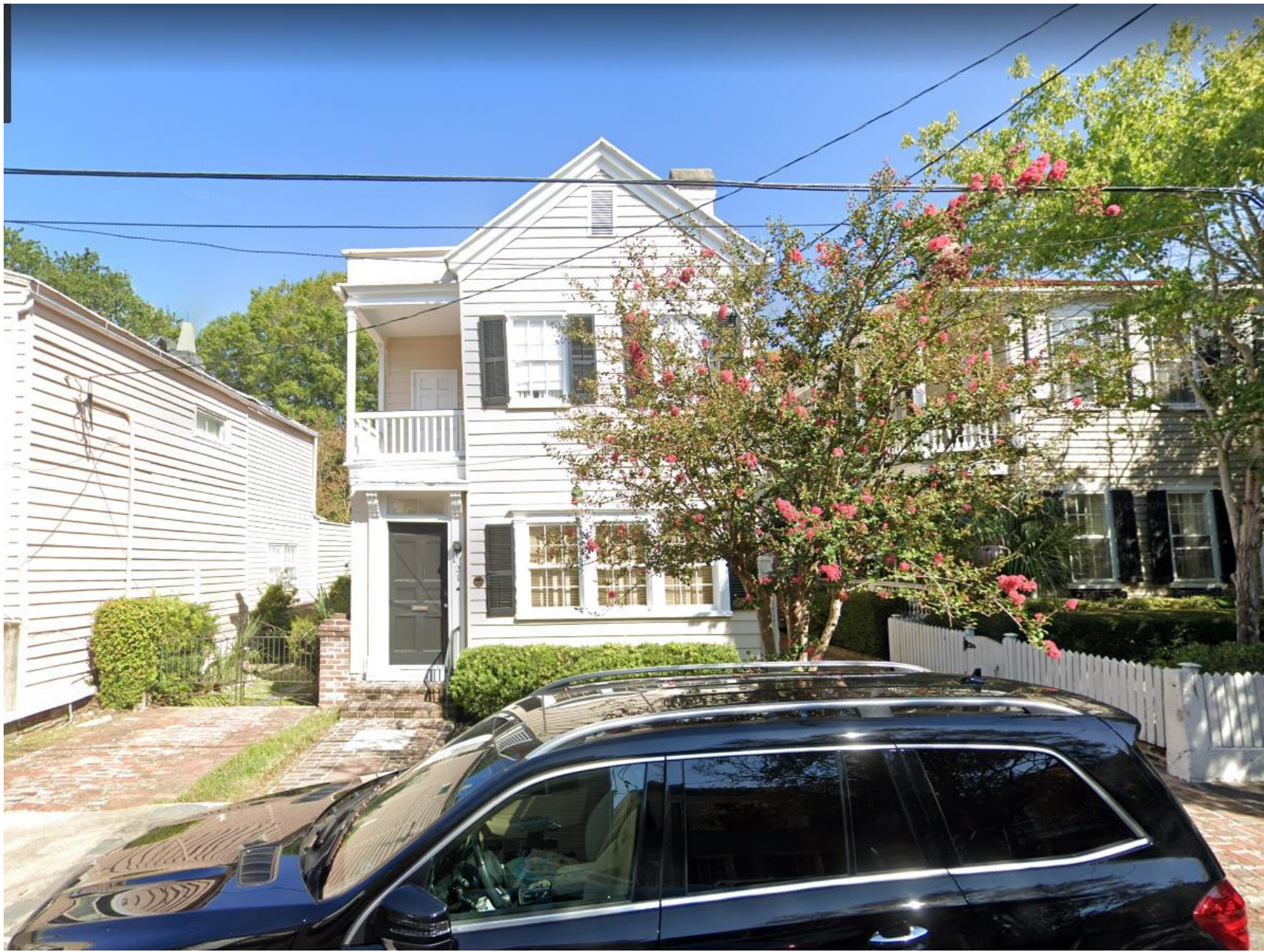
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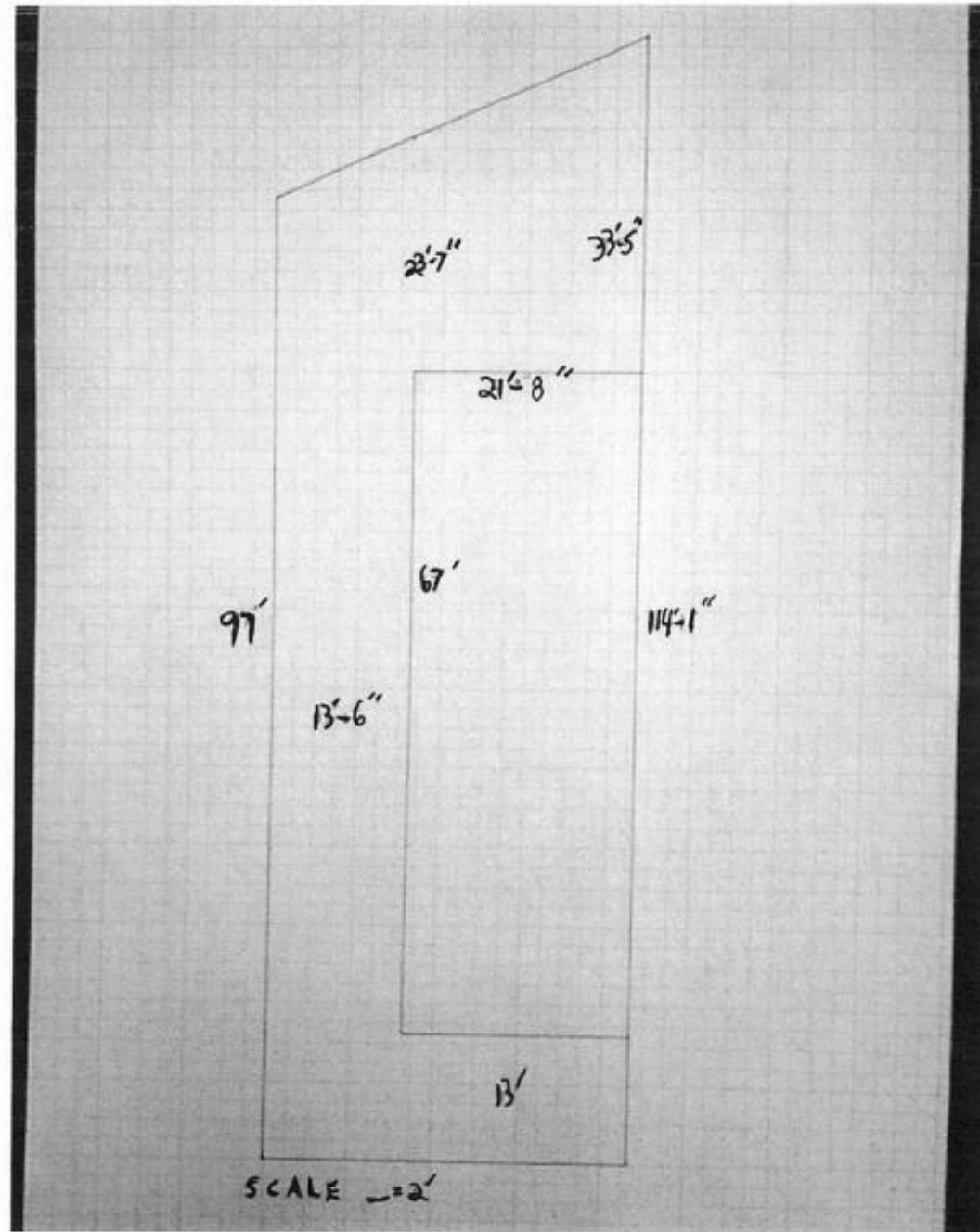




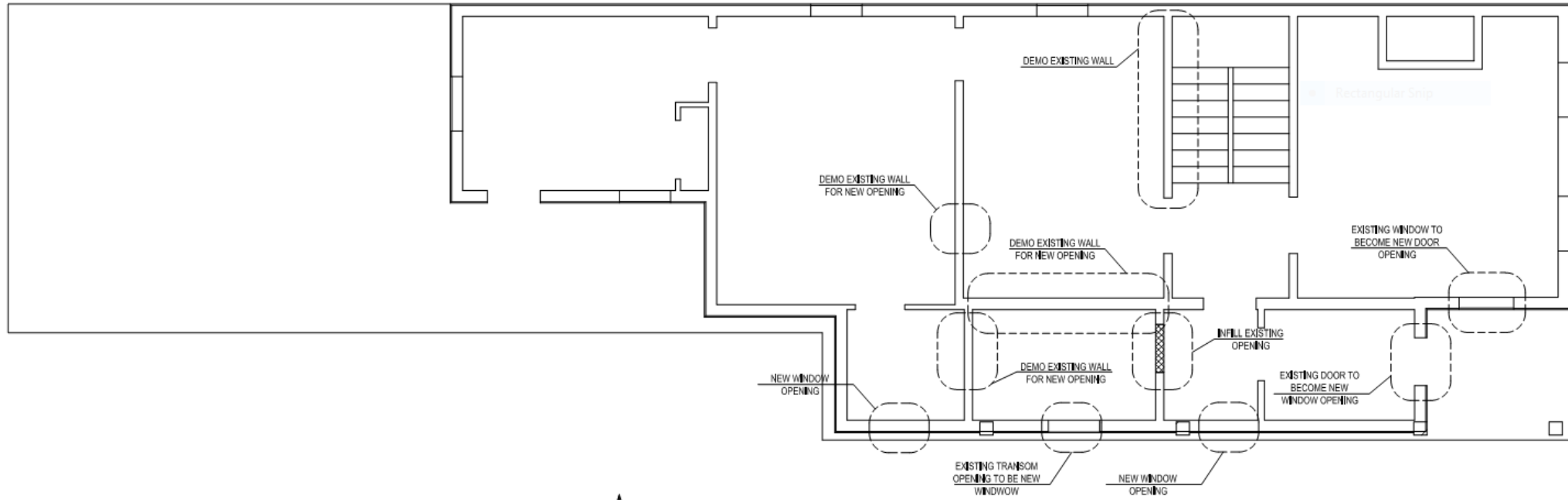








21 Savage Street



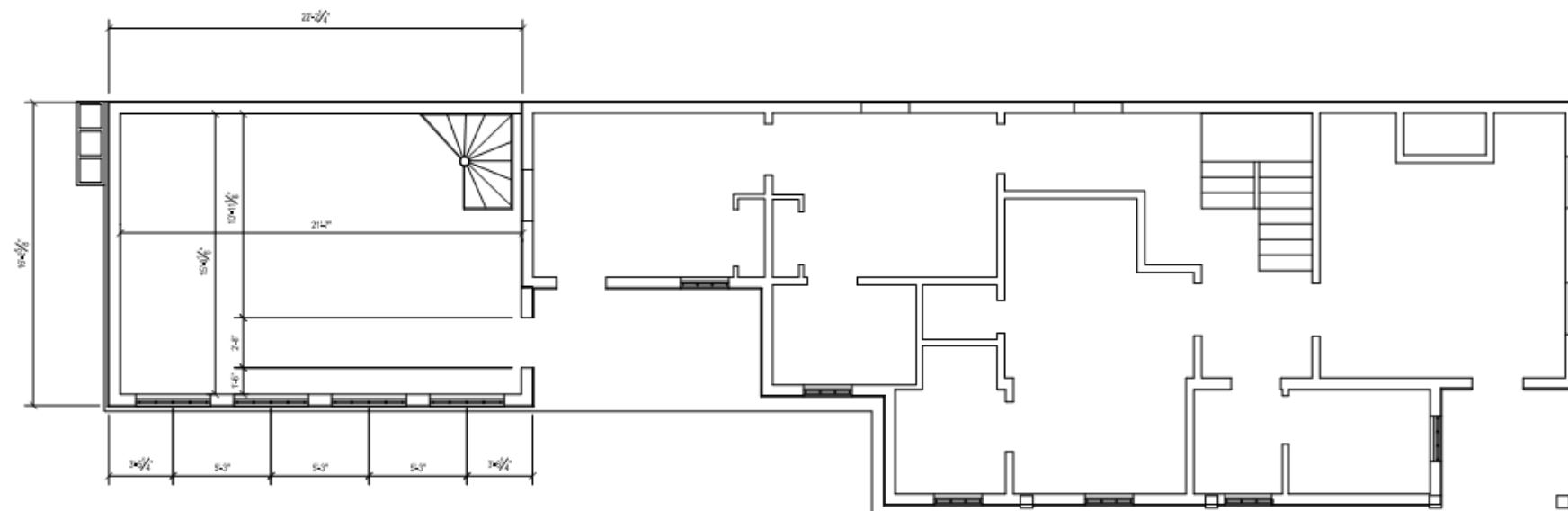
# EXISTING SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



SCALE:  $\frac{1}{4}" = 1'-0"$





Rectangular Snip



PROPOSED 2nd FLOOR SUNROOM LAYOUT PLAN  
SCALE: 1/8" = 1'-0"



*21 Savage Street, Charleston, 29401-2409*  
*Back Isometric View*



July 15, 2021

Re: 21 Savage Street

Dear Members of BZA,

I live at 23 Savage Street, next door to 21 Savage Street. I have seen the plans for the second floor addition that is up for consideration. I believe this addition will greatly enhance the 21 Savage Street home and have no issues with this addition. The special exception for this addition should be approved.

Thank you,  
  
Elizabeth Gourdin  
23 Savage Street  
Charleston, SC 29401

July 16, 2021

Re: 21 Savage Street

Dear Members of BZA,

I live at 19 Savage Street, next to 21 Savage. I have seen the plans for the second floor addition that is up for consideration. I believe this addition will greatly enhance the 21 Savage Street home and have no issue with the addition. The special exception for this addition should be approved.

Thanks you,

Handwritten signatures of Jeanne Schwartz and Stephen Schwartz. The signature of Jeanne Schwartz is on the left, and the signature of Stephen Schwartz is on the right, with a long horizontal line extending from the end of his signature.

Stephen and Jeanne Schwartz  
19 Savage Street  
Charleston, SC 29401

July 6, 2021

Re: 21 Savage Street

Dear Members of BZA,

I live across the street from 21 Savage and have seen the plans for the second floor addition that is up for consideration. I have no issues with this addition and feel that the special exception should be approved.

Thank you,

Caroline Ragsdale  
30 Savage Street